

Notice is given that an extraordinary meeting of Full Council will be held on:

Date: Thursday 19 March 2020
Time: 9.30am
Meeting Room: Tasman Council Chamber
Venue: 189 Queen Street
Richmond

Extraordinary Full Council Meeting

AGENDA

MEMBERSHIP

Mayor	Mayor T King	
Deputy Mayor	Deputy Mayor S Bryant	
Councillors	Cr C Butler	Cr D Ogilvie
	Cr M Greening	Cr T Tuffnell
	Cr C Hill	Cr A Turley
	Cr C Mackenzie	Cr T Walker
	Cr K Maling	Cr D Wensley
	Cr D McNamara	

(Quorum 7 members)

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AGENDA

1 OPENING, WELCOME

2 APOLOGIES AND LEAVE OF ABSENCE

Recommendation

That apologies be accepted.

3 DECLARATIONS OF INTEREST

4 LATE ITEMS

5 PRESENTATIONS

Nil

6 REPORTS

6.1 Golden Bay Grandstand 5

7 CONFIDENTIAL SESSION

Nil

6 REPORTS

6.1 GOLDEN BAY GRANDSTAND

Decision Required

Report To:	Full Council
Meeting Date:	19 March 2020
Report Author:	Janine Dowding, Chief Executive Officer; Susan Edwards, Community Development Manager; Dennis Bush-King, Environment and Planning Manager
Report Number:	RCN20-03-1

1 Summary

- 1.1 The Council has been engaged in discussions with representatives of the Golden Bay Grandstand Trust (the Trust) and the Golden Bay Agricultural & Pastoral Association (A&P) for a number of months in an attempt to negotiate an outcome to the ongoing High Court proceedings (brought by the Trust and A&P against the Council). A suitable pause of the High Court proceedings has been agreed by the parties to the proceedings to enable those settlement discussions to continue and develop.
- 1.2 To explore the possibility of resolving the litigation in relation to the Grandstand, the Council mandated a sub-group of Councillors to work alongside Council Officers to enter into settlement discussions with the Trust and A&P. Those discussions have been unsuccessful.
- 1.3 Councillors have requested that, despite the existence of the on-going legal proceedings, the issue of the future of the Grandstand is considered in an open and public meeting as far as is reasonably possible. It is on that basis that Council Officers have prepared this report. However, this report has been prepared bearing in mind that:
 - 1.3.1 it is not possible to discuss the detail of the settlement discussions that have taken place between the Trust/A&P in a public context because the content of those settlement discussions have been agreed to be kept confidential and were carried out on a 'without prejudice' basis; and
 - 1.3.2 it is not possible to discuss the content of the legal advice obtained in relation to the on-going litigation in a public context because that advice is protected by legal privilege, which by its very nature is confidential.
- 1.4 The Council has recently obtained an estimate for the cost to reinstate the Grandstand building to public use. In this report, Council is asked to consider:
 - 1.4.1 retaining ownership of the Grandstand building and Council funding the reinstatement of the Grandstand building to public use (within a specified time period);
 - 1.4.2 inviting interested community groups who are willing to work collaboratively and constructively with the Council to provide input into the reinstatement process, although the Council will retain control of the overall reinstatement process. It is hoped

that this might galvanise the community and reduce the amount of time it might otherwise take to fund and action the reinstatement works for the Grandstand;

- 1.4.3 how the Council envisages that the A&P will be entitled to use the new Shared Recreation Facility and the grounds for the purpose of its annual A&P show; and
 - 1.4.4 creating a new Committee of Council, to be known as the “*Golden Bay Recreation Park Management Committee*” which would exist to manage the grounds at the Golden Bay Shared Recreation Park.
- 1.5 In considering the above matters, the Council will need to consider the rights of the A&P under the Reserves and Other Lands Disposal Act 1959 (ROLD Act 1959).

2 Draft Resolution

That the Full Council

1. receives the Golden Bay Grandstand Report [RCN20-03-1];

Grandstand Reinstatement

2. receives the Golden Bay Grandstand Strengthening Design Features Report dated 11 February 2020 (the Engineer Report);
3. acknowledges the estimated cost of reinstatement of the Grandstand to public use in accordance with the Engineer Report is stated to be \$930,000 plus GST;
4. notes that the cost estimate referred to at paragraph 3 above does not include provision for future escalations in building costs and that the costs could be higher or lower depending on matters that have not been covered (for example, any resource consent to seek dispensation from additional parking) or other items that could be amended (e.g. provision of toilets);
5. acknowledges that without prejudice settlement discussions between the Council and the Trust and A&P have not resulted in a successful outcome and instructs Council Officers to withdraw from current settlement discussions;
6. agrees to retain the Grandstand in the Council ownership;
7. agrees to fund the reinstatement of the Grandstand to public use in accordance with the Engineer Report (subject to paragraphs 4, 8 and 10);
8. acknowledges that the Engineer Report was commissioned for the purpose of obtaining a cost estimate for the building works necessary to bring the Grandstand back to a standard capable of safe public use. The scope of works will be finalised when detailed design plans, specifications and reports for the requisite building consent and resource consent applications have been prepared;
9. instructs Council Officers to retain responsibility for the process of reinstatement of the Grandstand to ensure that the reinstatement will occur in accordance with the Council’s policies and safeguards (such as Health & Safety considerations);
10. acknowledges that the building work required to reinstate the Grandstand to public use will begin within three years of the date of this report conditional on: obtaining all necessary consents to meet statutory obligations under the Building Act and Resource Management Act; plus any authority that may be necessary

from HNZPT; and on the discontinuance of the High Court proceedings brought by the Trust and A&P no later than 30 May 2020;

11. instructs Council Officers to invite proposals from the community to work constructively with the Council to raise funds and otherwise contribute to the reinstatement of the Grandstand;
12. notes that:
 - a) the mechanism for funding of the costs of the Grandstand reinstatement to public use has yet to be decided, and this will be consulted on with the community as part of the Council's Long Term Plan 2021-2031 process;
 - b) possible funding options include a targeted rate to the Golden Bay Community, use of the general rate or use of the District Facilities Rate;
 - c) the more assistance and support that is received from the Golden Bay Community, the quicker the outcome of a functioning Grandstand will be achieved and this may also take the building beyond a functioning standard to a full restoration; and
 - d) in accordance with paragraph 7 above, the Council has only committed to fund restoration of the Grandstand to the standard required for public use standard.

A&P Use Rights of Buildings & Grounds on the Golden Bay Recreation Park

13. approves:
 - a) the A&P be entitled to free use of the grounds at the Recreation Park for ten days (including Show Day) for the purpose of setting up, running and disassembling the Golden Bay A&P Show each year;
 - b) the A&P be entitled to free use of the NBS Stadium for seven days (including Show Day) for the purpose of setting up, running and disassembling the Golden Bay A&P Show each year;
 - c) the A&P be entitled to free use of the clubrooms for two days (including Show Day) for the purpose of setting up, running and disassembling the Golden Bay A&P Show each year;
 - d) the A&P be entitled to free use of the community room and bar for one day (i.e. Show Day) each year for the running the Golden Bay A&P Show each year;
 - e) the A&P be entitled to free use of the showers and toilets in the Shared recreation facility for two days (including Show Day) for the purpose of setting up, running and disassembling the Golden Bay A&P Show each year; and
 - f) the A&P be entitled to free use of the Fresh Choice kitchen in the Shared Recreation Facility for two days (including Show Day) for the purpose of setting up, running and disassembling the Golden Bay A&P Show each year;
14. acknowledges that that the A&P has traditionally used the Brownies Inn on Show Day. Brownie's Inn is currently leased to a third party, however, the Council will use best endeavours to include provision for the A&P to use the building free of charge on Show Day;

15. acknowledges that if the Grandstand is reinstated to a standard capable of safe public use, the A&P will have free use of the Grandstand building for one day i.e. Show Day each year;
16. acknowledges that the A&P is entitled to free use of the facilities in the Golden Bay Recreation Park as outlined in paragraphs 13, 14 and 15 above, but it is further noted there will be other minor costs associated with the A&P's use of the Recreation Park, such as staffing costs, laying of carpet tiles to protect the floor in the NBS Stadium, electricity, etc.) which it is expected that the A&P will cover;
17. notes that the A&P will be required to accept the standard terms and conditions of hire of the Shared Recreation Facilities in the ordinary course (including, amongst other things, accepting health and safety obligations for its own event and ensuring adequate insurance is in place);
18. approves the appointment of a committee to be known as the '*Golden Bay Recreation Park Management Committee* to manage the land detailed in s.18(7) of the ROLD Act 1959;
19. notes that the *Golden Bay Recreation Park Management Committee* should consist of:
 - a) two elected members appointed by the Tasman District Council;
 - b) one person appointed by the Tasman District Council on recommendation of A&P; and
 - c) other persons, not exceeding four in number as the Tasman District Council may from time to time appoint as nominees of other sporting bodies in the Takaka District;
20. notes that if the legal action is not withdrawn:
 - a) the Council will reserve its position on costs in all respects; and
 - b) the associated financial outlay will likely compromise any further work on the Grandstand;
21. notes the significance assessment in section 10 of this report, the extent to which community views are known, and the circumstances which make it impracticable to engage further with the community at this time. There will be further consultation at the time of the Long Term Plan 2021-2031 as set out in the report; and
22. agrees that the progress of this matter will be formally reviewed by the Council prior to consultation on the Long Term Plan 2021-2031, and the Council reserves the right to reconsider any of the commitments made above.

3 Purpose of the Report

3.1 The purpose of this Report is to:

- 3.1.1 seek approval from the Council for a proposed way forward to work constructively to ensure the future of the Grandstand;
- 3.1.2 ask Council to consider and confirm its commitment with respect to the A&P's use of the facilities and grounds at the Golden Bay Recreation Park; and
- 3.1.3 consider the formation of a committee to oversee certain aspects of the Golden Bay Recreation Park.

4 Background and Discussion

- 4.1 In 1959, the A&P (and the now defunct Takaka Athletic and Cycling Club) gave land (and buildings) on which the Grandstand is currently located in Takaka to the Golden Bay County Council (which amalgamated with the Tasman District Council in 1989). The land and buildings were given to the Golden Bay County Council subject to certain conditions, including preserving certain use rights for those organisations over the lands into the future. The conditions were codified in what is known as the Reserves and Other Lands Disposal Act 1959 (the ROLD Act).
- 4.2 In 2010, the Council and the Golden Bay community started to work on designing and planning a new multi-purpose recreation facility on the site. Over a number of years, the Council worked (via a working group) with the community to scope and refine the design and plans for the new recreation facility. The Golden Bay community provided a proportion of the funds for the project to go ahead. For a number of reasons, the design of the new sports facility included the demolition of the Grandstand and ancillary buildings (specifically the rear lean to, rugby clubrooms and squash court).
- 4.3 The Council first considered a proposal to demolish the Grandstand (and a nearby building, the Produce Booth) in a February 2013 feasibility study for the new multi-purpose facility. That study identified a lack of adequate facilities (clubrooms, toilets, showers, storage, security, social space, indoor courts and access) as relevant factors in the Grandstand's demolition. The earthquake risks associated with the Grandstand building were also known at that time. The Council further approved the demolition when it approved concept plans for the new facility on 13 February 2014, and, again in 2015 when the Tenders Panel accepted the contract for construction of the new facility and demolition of the Grandstand and Produce Booth.
- 4.4 Once the new facility was under construction in 2016, a range of other issues concerning the Grandstand's future was considered by the Council (when re-affirming the decision to demolish the Grandstand). The new Shared Recreation Facility was built on the land adjacent to the Grandstand in accordance with the plans, and opened to the public in 2017.

2017 Environment Court Proceedings

- 4.5 Before the Grandstand was demolished, however, legal proceedings were brought by the Trust against the Council and Heritage New Zealand Pouhere Taonga (HNZPT) in the Environment Court. The Trust sought to appeal an archaeological authority issued by HNZPT and to seek an enforcement order to prevent demolition of the Grandstand. The

Environment Court issued its decision in June 2017 and found in the Council's favour and the Trust's case was dismissed.

- 4.6 Both prior to and following the Environment Court decision, the Council invited restoration proposals and worked with the Trust and other relevant bodies, including the Golden Bay Grand Stand Restoration Society (the Society), the A&P and the GBSRF Inc. The aim was to find a workable cost effective solution to enable the preservation and restoration of the Grandstand (or the most valued parts of it), or relocation of the upper portion of the Grandstand to an alternative site (with the remainder of the Grandstand being demolished). This was not successful because agreement could not be reached between the parties.

2018 High Court Proceedings

- 4.7 In June 2018, the Council was served with High Court proceedings brought by the Trust and the A&P seeking:
- 4.7.1 judicial review of the Council's earlier decisions to demolish the Grandstand;
 - 4.7.2 a declaration as to meaning of the ROLD Act; and
 - 4.7.3 interim relief (an injunction) preventing demolition of the Grandstand until the Judicial Review was determined.
- 4.8 At an initial hearing, the Judge granted the Trust and A&P's request for interim relief, (which the Council had indicated it would agree to). This prevents the Council from demolishing the Grandstand until the case has proceeded fully through the legal process and a final judgment on the substantive issues given by the Court.

Revocation of Earlier Demolition Decisions

- 4.9 On 28 June 2018, (and after the Court made the decision to grant interim relief to the Trust/A&P in the High Court proceedings) the Council considered a Notice of Motion to rescind its 24 May 2018 decision to demolish the Grandstand. The Notice of Motion was passed, and the Council did rescind the earlier demolition decision. In doing so, the Council invited the Society, the Trust (or any other entity) to apply for a lease of the Grandstand building under the Reserves Act 1977. Such a lease was offered on an "as is, where is" basis, and the Council agreed that the remaining funds allocated for demolition would be made available to the successful lessee for restoration works.
- 4.10 In revoking its demolition decision on 28 June 2018, Councillors have confirmed that they believed that this action would bring about resolution of the High Court proceedings. It did not, and to date, whilst two expressions of interest for a lease were initially received, ultimately no applications for a lease of the Grandstand have been received by the Council from any entity.

Earthquake-prone status of the Grandstand

- 4.11 An initial seismic assessment for the Grandstand was received from WSP Opus dated 10 January 2019. This concluded the building had a seismic rating of 15%NBS (IL3) ("New Building Standard"), and was therefore below the threshold of <34%NBS (meaning the building was potentially earthquake-prone). This prompted the Territorial Authority to issue a formal earthquake-prone building notice, under s133AL of the Building Act 2004, dated 29 January 2019. The report from WSP Opus went onto state that they believed the Grandstand was not fit for purpose in its current state.

Ongoing Settlement Discussions

- 4.12 The fact that settlement discussions have been taking place between the Trust/A&P and the Council has been discussed publicly by the Trust/A&P. Please see **Appendix 1** which includes an advert placed by the A&P in the Golden Bay Weekly on 1 November 2019 advising the Golden Bay community that settlement negotiations were ongoing. There is also attached in **Appendix 2** an extract from the letters section from GB Weekly dated 17 January 2020 whereby the Golden Bay Grand Stand Community Trust reference settlement discussions.
- 4.13 The Council has diverted extensive resources over a long period to settlement discussions with the aim of resolving the dispute. The settlement discussions to date have been extensive and have involved both:
- 4.14 a significant spend by Council of \$75,000 plus GST on external lawyers in failed settlement discussion costs; and
 - 4.15 a huge diversion of senior level management time within the Council, to such a extent that is unquestionably disproportionate to the issues.
- 4.16 From mid-2019 onwards, Council had mandated a smaller sub-group of Councillors (the “**Councillor Negotiating Team**”) to work alongside Council officers to explore a way forward that might draw an end to the High Court litigation.
- 4.17 The Councillor Negotiating Team have now, reluctantly, reached the view that continued settlement discussions have no reasonable prospect of success, and consequently, any continued expenditure of time and/or money to settlement discussions in the present circumstances cannot be justified as prudent stewardship of the District’s resources. Council officers share this view. Councillors should be mindful that, if they wish to understand more about why the Councillor Negotiating Team have formed the view that they have, it will be necessary to have that discussion “*in-committee*” given the confidential nature of the discussions.
- 4.18 The remainder of this report concentrates on a proposed way forward.

The Grandstand - 2020 and Beyond

Engineers Report

- 4.19 Towards the end of 2019, the Council instructed WSP Opus to prepare a design report to use as a basis for instructing a quantity surveyor to estimate the cost of reinstating the Grandstand building to public use. The report was prepared on the basis of project specific Terms or Reference drafted by Staff, which the Trust/A&P had input on as part of the negotiations. The WSP final report is headed “*Golden Bay Grandstand Strengthening Design Features Report – Option B-IL2*” is dated 11 February 2020 and is attached in Appendix 3.
- 4.20 In summary, the report was commissioned on the basis of the following assumptions:
- 4.20.1 the Grandstand structure be seismically strengthened to >33%NBS for an IL2 building (i.e. capable of holding less than 300 people, even though the building currently has an occupancy capacity of over 300 which would make it an IL3 building. Upgrading to an IL3 building would cost more). The reduction in the occupant load is based on removing some of the existing bleachers in the high level seating area, and restrict access for people standing in the resultant vacant space created.

- 4.20.2 the rugby clubrooms, old squash court and rear lean-to would be removed; and
- 4.20.3 the Grandstand would be reinstated to a safe level suitable for public use (but not necessarily to a full heritage restoration).
- 4.21 Other options of the rugby clubrooms remaining, and also the reinstatement to an IL3 building, were also considered and costed, but the remainder of this report concentrates on the costing based on the above assumptions as the preferred model.
- 4.22 A subsequent Quantity Surveyor's Report (prepared using the design in the aforementioned engineers report as part of the "without prejudice" negotiations) has confirmed that the estimated cost for reinstating the Grandstand to safe public use, in accordance with the engineer's report, is approximately **\$930,000 plus GST**.
- 4.23 Council officers have reviewed the engineers report and cost estimates and are broadly satisfied that it is a reasonable estimate of the likely cost of the reinstatement of the Grandstand building (this is based on current construction costs but it does not include a figure for escalation of building materials and so the overall cost is considered a good estimate based on an imminent rebuild)
- 4.24 This is notwithstanding the fact that Council Officers have also sought clarification on a relatively small number of other items in the cost plan, but these are not thought to be significant, at this stage, in terms of increasing the overall cost estimate (e.g. removal of the asbestos cladding to the North East elevation of the Grandstand at a high level.
- 4.25 It is important to note that some cost savings might be able to be made by making small tweaks to the design as outlined in the engineers report. For example, Council officers have indicated that it might be possible to reduce the number of toilets required to be within the Grandstand building from nine down to three. However, no allowance has been made for a resource consent seeking dispensation from parking standards, or the preparation of the amended plans, specifications and reports for the existing building consent (BC 160058) for the Golden Bay Recreation Centre (a formal amendment application is necessary to show the retention of the Grandstand). The result might see some cost saving but in terms of the big picture overall, the estimate of \$930,000 plus GST is a reasonable and realistic estimate of cost to use as a basis for considering Council's next steps based on today's costs.

Proposed Way forward

- 4.26 The Councillor Negotiating Team considers that the Council should be focusing its efforts at resolution of the issue of the future of the Grandstand (and the A&P's use rights of the Golden Bay Recreation Park) in a different, more constructive direction. Exhaustive efforts from a large number of people in the current process have not yielded a successful outcome, and the Councillor Negotiating Team considers a different approach is desirable in the best interests of the Golden Bay Community (and the wider District for reasons considered in detail below).
- 4.27 Council is asked to consider taking ownership of the process and cost of reinstating the Grandstand to public use into its own hands, whilst inviting the wider Golden Bay community to work constructively with them to facilitate this happening. It is recommended that the decision to fund the Grandstand to public use is conditional on a small number of factors, such as obtaining the necessary consents and also on the litigation brought against the Council by the A&P/Trust being withdrawn within a certain time frame.

- 4.28 It is considered that there are many individuals/groups/entities within the Golden Bay community with an interest in securing the future of the Grandstand. These groups have not felt willing or able to engage in finding a constructive solution given both the existence of the underlying litigation, and also the many unknowns and questions around the process and cost of the reinstatement process.
- 4.29 If Council were to own and control the reinstatement process, including providing a funding commitment of the full amount of the funding required (estimated to be approximately \$930,000 plus GST) within a certain time period, the wider Golden Bay community would be able to draw a line under the question over the future of the Grandstand (and in particular the possibility of demolition as an option). That would encourage constructive contributions, in terms of fundraising efforts and otherwise, to the process in order to expedite the reinstatement.
- 4.30 At the same time as making a decision to fund the reinstatement of the Grandstand to public use, the Council is asked to confirm:
- 4.30.1 The extent to which the A&P may use the Golden Bay Recreation Park for the purposes of its annual Golden Bay A&P show; and
- 4.30.2 Approve the formation of a Committee of Council called the Golden Bay Recreation Park Management Committee to provide oversight and recommendations to Council on the developments and capital works programme at the Golden Bay Recreation Park. The exact terms of reference for the Committee will be finalised shortly.
- 4.31 With reference to paragraph 4.30.1, the detail of the proposed use of the Golden Bay Recreation Park facilities by the A&P Association are set out at paragraph 13(a)-(f), 14 and 15 of the draft resolution attached to this Report, and for reasons of brevity, will not be repeated here. It is important to note, however, that Council officers consider that the use rights offered in the draft resolution are generous and go beyond the rights that the A&P had over the land and buildings when it was transferred to the Golden Bay County Council in 1959. For example, resolution 13(a) in this Report agrees to offer the A&P ten days free use of the grounds, whereas in 1959 they were only entitled to use of the land and buildings at the Recreation Park for the purpose of holding meetings (i.e. the A&P Show) which is held over two days each year, the offer of use of the land for 10 days without charge is therefore considered to exceed the obligations in s.18(3) of the ROLD Act.
- 4.32 To be clear, the above view does not indicate any reticence by the Councillor Negotiating Team of the strength of its position in the underlying legal proceedings. It is the escalating costs of that litigation and the disproportionate amount of staff time that is diverted to these proceedings, (and, more particularly, the management time spent trying to find a resolution to those proceedings) that is of significant concern to the Councillor Negotiating Team.
- 4.33 For the reasons outlined above, Council is asked to consider the options, advantages and disadvantages, and risks considered in detail below, and consider the draft resolutions specified in paragraph 2 of this report.

5 Options

Option 1 – Continue Settlement Discussions

- 5.1 Continued settlement discussions potentially remain an option. If a settlement were achievable, that would be an attractive option because it would have drawn a line under the adversarial legal process and instead focus parties in working collaboratively to secure a workable outcome. Given the level of effort and legal spend to date on failed settlement discussions, continued settlement discussions in the present form are not considered to be a cost effective, productive or prudent use of the Council resources. The amount of senior management time involved to date in the settlement process, has been disproportionate to the wider issues, and has diverted attention away from more pressing issues of wider significance for the whole District. There are benefits to Council of acting decisively to ensure this does not continue.

Option 2 – Wait for the outcome of the legal proceedings before making decisions around the future of the Grandstand

- 5.2 The Council can reserve its decision to fund the reinstatement of the Grandstand until such time as the Court has provided guidance as to the extent of its legal obligations under the ROLD Act in so far as they relate to the Grandstand. The advantages of this course of action are:
- a) Concluding the settlement discussions will curb the diversion of disproportionate amounts of Councillor and staff time to trying to reach settlement. Instead enabling them to focus more widely on other projects of significance across the District; and
 - b) The outcome of the legal proceedings might be that Council is not required to fund the reinstatement of the Grandstand to public use, and thus alleviating Council of the significant financial burden in the estimated sum of \$930,000 plus GST in carrying out that work, plus also avoiding the use of Council staff resources to oversee and manage the reinstatement process of the Grandstand over a period of years.

The disadvantages of this option include:

- c) On a simple level, the dispute over the future of the Grandstand has been going on for years, with still no resolution in sight. The Councillor Negotiating Team would prefer to focus on a constructive process to move forward with the Golden Bay Community to find solutions that will secure the future of the Grandstand. There can be no doubt that the continued debate around the future of the Grandstand to date has had a divisive effect on part of the Golden Bay community and Council, which the Councillor Negotiating Team would like to bring to an end; and
- d) Given the nature of the proceedings, it is unlikely that the outcome of the litigation will result in finality for the future of the Grandstand nor determine with finality how the associated ROLD Act rights and obligations will work in practice. Parties will make legal submissions to the Court, and then the Court will determine the precise scope and extent of the nature of the ROLD Act rights. The A&P and the Council will still need to work together to give effect to that Court decision.

Option 3 – Council retain ownership and control of the Grandstand and lead and fund the reinstatement process – recommended option

- 5.3 An alternative option is for the Council to seek to work constructively with the wider Golden Bay community to secure the Grandstand's future.
- 5.4 As outlined, it is recommended that this could be done by the Council retaining ownership of the Grandstand and having responsibility and oversight of the reinstatement process to a basic level capable of public use within an achievable time-frame (which has been suggested work to commence within four years from today's date).
- 5.5 The key considerations are:
- 5.5.1 The mechanism of funding can be decided later, and in conjunction with consultation with the District in accordance with the Long Term Plan 2021-2031, but the fundamental point is that this course of action involves a funding commitment from the Council in a three year period of at least **\$930,000.00 plus GST**;
- 5.5.2 The potential mechanisms for funding this amount include a targeted rate, general rate or a surcharge on the District Facilities Rate;
- 5.5.3 The above figure of \$930,000 plus GST does not include a figure for escalating building costs, and so the longer the time it takes to secure the funding and do the work, the more the scope for costs increases.
- 5.5.4 The Council could seek to work with the wider Golden Bay community who might be incentivised to assist in raising funds to get the Grandstand back to public use more quickly than the three year time frame currently specified for the building work to commence, to a higher standard than is currently envisaged (for example, to heritage restoration standard), and/or at a lower overall to Council. It is thought that this would be a positive development because it draws a line under the divisive nature of the dispute, and the whole Golden Bay community could be galvanised to contribute and offer support.
- 5.5.5 The Shared Recreation Facility has not been granted a Code of Compliance certificate. That is because original design of the facility contemplated the demolition of the Grandstand and use of the land for carparking. The fact that the demolition has not yet occurred means that the Code of Compliance certificate cannot be issued in accordance with the existing building consent. This constrains the use of the facility, which is not a desirable long-term outcome for the Golden Bay community. By undertaking to obtain revised building consents and carry out the reinstatement work, the Council will enable a Code of Compliance certificate to be obtained. This course of action is the solution most likely to resolve this issue quickly and staff will look at ways to facilitate this sooner rather than later.
- 5.5.6 There will be significant legal spend in defending the legal proceedings if the Trust/A&P decide to continue with the High Court litigation against the Council. It is hoped when the Council resolves to take ownership of the process of reinstating the Grandstand to public use itself, that the Trust and A&P might reconsider their decision to continue the High Court litigation, but ultimately this is a matter for the Trust/A&P and withdrawal is not guaranteed. It is recommended that the decision to find the Grandstand is conditional on the Trust/A&P withdrawing the litigation, and the draft resolutions have been prepared accordingly.

- 5.5.7 It is the Councillor Negotiating Team's view that there can be little value in continuing the litigation, but naturally, that is a matter for the Trust/A&P to decide. If the legal proceedings can be avoided, it would mean that Council could divert the (not insignificant) funds that would otherwise be spent defending the litigation towards getting the Grandstand back to a level where it is capable of public use (although whether that actually happens is outside the Council's control).
- 5.5.8 If litigation does continue, Council would have to cover its own legal costs.
- 5.5.9 This report has not covered the possibility of still removing the grandstand subject to the outcome of the Court proceedings and as provided for in the current building consent on the basis that it does not appear that the Council would support this outcome because of previous decisions.

6 Strategy and Risks

- 6.1 Any decision involving the future of the Grandstand carries risks whatever is decided. These risks have already been explained in great detail in the earlier reports of 9 June 2016, 27 July 2017, 16 November 2017, 24 May 2018, 28 June 2018, 18 October 2018 (confidential – in-committee report), 14 February 2019 (confidential – in committee report), 18 April 2019 (confidential-in committee report) and 1 August 2019 (confidential – in committee report). Councillors are reminded that the more recent reports (marked as confidential) involve accounts of confidential settlement discussions and legally privileged legal advice, and consequently are not capable of public discussion.
- 6.2 The main risks of proceeding as advised are:
- 6.2.1 an increase in the cost of building materials whilst decisions around the funding of the reinstatement may cause an escalation in the reinstatement price;
- 6.2.2 the Trust/A&P may not be sufficiently satisfied with the outcome that they decide to continue with the High Court litigation (but to mitigate this risk, the draft resolution is worded on the basis that the Council's decision to fund the reinstatement is conditional on the litigation being withdrawn);
- 6.2.3 some individuals/groups within the Community would prefer that the funds committed to the Grandstand reinstatement to be spent elsewhere. However, there appears to be strong support for keeping the Grandstand within the Golden Bay community. This support has been demonstrated to Council and evidenced by way of public forums at Full Council and the Golden Bay Community Board, written contact from individuals and support groups such as the Golden Bay Grandstand Restoration Society (not involved in the litigation) amongst others.
- 6.3 The risks of continuing settlement discussions in the present circumstances where a realistic prospect of reaching agreement is deemed unlikely include:
- 6.3.1 continued damage to goodwill between the Council and certain aspects of the Golden Bay Community as settlement discussions repeatedly break down; and
- 6.3.2 diverting staff time away from other issues of significance to the District.
- 6.4 The risks of deciding to postpone a decision on the future of the Grandstand until the outcome of the litigation is known include:

- 6.4.1 continued operation of the Shared Recreation Facility on a temporary certificate for public use and without a code of compliance certificate creates uncertainty and ongoing costs;
- 6.4.2 delay in setting up the process and engaging with the wider Golden Bay community may result in increased costs of the reinstatement of the Grandstand; and
- 6.4.3 continued division within the Golden Bay Community.

7 Climate Change Impact Assessment

Climate Change Consideration	Assessment	Explanation of Assessment
Is this activity associated with one of the goals in the Council’s Climate Action Plan?	<i>No</i>	<i>Not Applicable</i>
Will this decision affect the ability of Tasman District to proactively respond to the impacts of climate change?	<i>No</i>	<i>No</i>

8 Policy / Legal Requirements / Plan

- 8.1 Given the fact that this is an open report, which is publicly available, it is not possible to discuss in detail the content of the underlying legal proceedings and/or the risks associated with that one way or another.
- 8.2 It is up to the Council to decide the extent to which the decision making and consultation principles in the Local Government Act 2002 are observed in any particular situation. In doing so, it should take into account the extent to which the current views and preferences of persons who will or may be affected or have an interest in the decision are known to the Council. So there is no legal obligation to further consult in this case if Council considers it has a good understanding of community views on the Grandstand from previous consultations and representations from the community. Given the extent of consultation and discussion on this matter over the years, staff consider that a decision on the reinstatement of the Grandstand can be made today without requiring consultation. The decision does not require an amendment to the Long Term Plan.
- 8.3 Council is not being asked to make a decision today on how the Grandstand reinstatement will be funded. It will be desirable to seek further input from the community, by way of public consultation, in order for Council to take into account the communities views on how this process should be funded. Staff recommend that this community consultation on funding will occur as part of the Long Term Plan 2021-2031 process.

- 8.4 Councillors must remain aware of the on-going nature of the relationship of the A&P Association conveyed by s.18 ROLD Act 1959, which will exist regardless of the outcome of the court case.

9 Consideration of Financial or Budgetary Implications

- 9.1 The estimated cost of reinstating the Grandstand to public use is approximately \$930,000 plus GST.
- 9.2 These funds are currently unbudgeted, but will be able to be built into the budgets in accordance with the Long Term Plan 2021-2031 review.
- 9.3 The exact mechanism of funding will not be determined until consultation with the community has occurred.
- 9.4 The legal costs of any continued litigation are unbudgeted. Naturally, any continuation in the litigation will inhibit Council's ability to expedite any work on the Grandstand and consequently the decision to fund the reinstatement is recommended to be conditional on the litigation being withdrawn.
- 9.5 The financial cost of the continued diversion of Councillor and staff time on this issue must be considered.
- 9.6 There is still some budget available to complete works associated with the Shared Recreation Facility which are necessary to complete parking and drainage works on this site.

10 Significance and Engagement

- 10.1 Overall, the decisions sought in this report are likely to be of moderate significance within the Golden Bay community, but of low significance across the wider District. Council has already consulted extensively on the Grandstand issue and it has a good understanding of the views of the groups that seek to retain the Grandstand through the consultation, community representations and negotiations it has undertaken. Staff consider that the Council can rely on its understanding of the community views when making this decision. If the Council agrees with this view, then it does not need to undertake further consultation prior to making the decisions sought in this report. However, it will need to undertake public consultation at a later date on how the Grandstand upgrade will be funded. Staff propose that this consultation will occur through the Long Term Plan 2021-2031 process.

Issue	Level of Significance	Explanation of Assessment
Is there a high level of public interest, or is decision likely to be controversial?	Moderate in Golden Bay, low-moderate in the rest of the District	Some members of the public in Golden Bay have a high degree of public interest in the future of the Grandstand. There does not seem to be much interest in the matter from elsewhere in the district. This might change when the full cost of reinstating the Grandstand is known.
Is there a significant impact arising from duration of the effects from the decision?	Moderate	The costs and implication of funding the Grandstand would be ongoing.
Does the decision relate to a strategic asset? (refer Significance and Engagement Policy for list of strategic assets)	Low	The Grandstand is not a strategic asset in the Council's Significance and Engagement Policy.
Does the decision create a substantial change in the level of service provided by Council?	Low	This matter does not affect Council's stated levels of service.
Does the proposal, activity or decision substantially affect debt, rates or Council finances in any one year or more of the LTP?	Moderate	The exact mechanism of funding of the Grandstand it not being decided at this stage, but it is clear that the amount of money in issue could affect debt/rates and Council finances.
Does the decision involve the sale of a substantial proportion or controlling interest in a CCO or CCTO?	No	Not applicable.
Does the proposal or decision involve entry into a private sector partnership or contract to carry out the deliver on any Council group of activities?	N/A	
Does the proposal or decision involve Council exiting from or entering into a group of activities?	N/A	
Does the proposal require inclusion of Māori in the decision making process (consistent with s81 of the LGA)?	Low	The decision on the upgrade of the grandstand is unlikely to be of particular interest to Māori. However, Māori may need to be consulted on the design for the upgrade if a Heritage NZ consent is required for the upgrade.

11 Conclusion

- 11.1 For all the reasons outlined in this report, there is no course of action that does not include risks for Council, and/or the possibility of future challenge.
- 11.2 The Councillor Negotiating Team recommends that Council take steps to work proactively with the Community to secure the future of the Grandstand.

12 Next Steps / Timeline

- 12.1 The decision on how to fund the reinstatement of the Grandstand will be fed into the Long Term Plan 2021-2031 process.
- 12.2 Decisions around budgeting will take place in consultation with the community through the Long Term Plan process.
- 12.3 Council officers will liaise with the Golden Bay community to invite funding contributions.
- 12.4 The reinstatement of the Grandstand building will need to commence within the time frame specified in the resolution.
- 12.5 The litigation must be withdrawn by the end date specified in the resolution for the funding of the reinstatement of the Grandstand to materialise.

13 Attachments

- | | | |
|----|--|----|
| 1. | Appendix 1 - Extract from Golden Bay Weekly, Dated 1 November, Page 10 | 21 |
| 2. | Appendix 2 - Extract from Golden Bay Weekly, Dated 17 January, Page 4 | 23 |
| 3. | Appendix 3 - Grandstand Design Features Report | 25 |

SPORTS RESULTS / Hui Māori

GOLF

22 October. Women's Club Champions Finals: Silver – C Hill 64 B Clavo in the 36th hole. Intermediate: J Prescott 61 D Ray 31, Junior S Benemann 61 C Crocker 31. Stableford: B Wn 33. Closed to pins 8:12 B Wn, 9:18 D Ray

23 October. Stableford: B Diamond 38, J Solly 37, L Downen 36. Closed to pins: 3:12 D Jensen, 4:13 B Diamond, 8:17 M Evans, 9:18 L Jensen. Teas: G Little, J Solly

28 October. Ivan Piers Multiplying Stableford: N Moore & J Garner 83, P Hay & M Stone 77. Closed to pins: 3:12 R Dyer, 4:13 W Collins, 8:17 N Moore, 9:18 P Hay. Teas: G Little. Red-green, N Moore 72

WOODCHIPPING

Last weekend was the start of the chipping season for the Golden Bay Club. On Saturday Dawn and Serena Gwatland competed at the Rangaroa Show. Serena chipped in the restricted events against a grassed field which included four women, two of whom have represented New Zealand, as well as the restricted class men. This was Serena's first registered event since having a baby and she chipped well, finishing with 10th and fourth placings. Dave finished fourth in the divisional underhand and second in the open big underhand, also making the final of the big standing but finishing out of the placings. Steve Weller and Brian Goddell chipped on Sunday at the Maitland School Fair, which as well as providing valuable race training also assists with the school fundraising by helping to entertain the large crowd at the fair. It was an exhausting day for both as they chipped in over 10 races each.

AGM NOTICES

GOLDEN Bay Grandstand Restoration Society Inc. AGM, Wednesday 6 November, Senior Citizens Hall, 7:00 pm. All welcome, further details available for registered members.

GOLDEN Bay Branch NZDA AGM, Wednesday 13 November, 8pm, River Inn.

PERSONAL NOTICES / Pānui a te whānau

FOSTER, Peter Kinross, 20 November 1927–24 October 2019, of Collingwood. Loved and loving husband of Penny Griffiths for 39 years, and a special person in the lives of Rachel Maria, Daniel Waldron, and their families (Melbourne). Loved father of Ian, Alison, and Nicholas Foster and their families (all overseas). We deeply appreciate the gentle and respectful care of staff at Golden Bay Community Health over the last year, and especially the last few weeks. Thanks also to the Golden Bay community, which embraced Peter's idiosyncratic spirit and quirky humour, and offered him opportunities and friendships that enriched his and our life. A private cremation has been held, messages to PO Box 54, Collingwood 7054.

BAIGENT, Frank, WWB 436208, on 26 October 2019 in his 97th year, at Ernest Rutherford Retirement Village. Dearly loved husband of Kathy, father of Philip and Gary and grandfather of Georgia, Max, Sam and Olivia. A funeral service will be held on Sunday 3 November at 11am at the Fire Brigade rooms in Takaka. Garden flowers only. Messages to Baigent family, TH 2, 49 Covert Drive, Stoke 7011.

OLSEN, Ngare Edith Inez Armstrong, 10 July 1926 - 26 October 2019. Passed away peacefully, in the presence of family, at the Golden Bay Community Rest Home in Takaka, after a brief illness. Beloved wife of Terry (deceased), cherished mother of Catherine (Takaka) and Mark (Takaka). Loved mum-in-law to Mike (Takaka) and Sarah (Sams), Bell. Loved sister of Vienna (Lower Hut) and May (deceased). Very much loved by all and will be forever missed. As a family we wish to extend our sincere thanks for the outstanding care Ngare received during her stay at Golden Bay Community Rest Home and the dedication and compassion during the difficult final days. A private cremation has been held. A memorial service to celebrate Ngare's life will be held in Richmond, at the Holy Trinity Anglican Church on Thursday 28 November at 2pm. All are welcome. Messages may be sent to 19 Aston Place, Richmond, 7020 or pippicat9@gmail.com

PUBLIC NOTICES / Pānui a whānau

ALCOHOLICS Anonymous. If you want to drink that's your business. If you want to stop we can help. Meeting Thursday 7pm, Catholic Church Hall. Ph 0800 229 4757.

SENIORNET: E-books and Audio Books. Don't be offering instruction on the use of the TDC library system for free. Thursday 7 November, 10am–12pm. Note: this will be in the library, not at the SeniorNet rooms.

END of support for Windows 7. On 14 January 2020 Microsoft will stop supporting W7. Is this a concern for you? SeniorNet is offering a help session to explain your options. 1.30–3.30pm, Tuesday 12 November, 51 John rooms at the Rec Centre. Non-members welcome.

PATTEISSONS Swimming Lessons: 7 and 8 December. Excellent swimming tuition for five years+. at the heated Rockville Pool. Four lessons for \$47. Ph Jordy 03 548 0932.

GOLDEN Bay Bridge Club wishes to thank the following

WHAT'S HAPPENING WITH THE GOLDEN BAY GRANDSTAND?

WHY IS THE GRANDSTAND STILL LOOKING SO SAD??

WHERE ARE WE AT???

EXPLANATION IN A NUTSHELL!!!

Golden Bay A & P Assn. would like to explain why they and the Grandstand Trust have lodged proceedings in court against Tasman District Council.

In 1959 the Golden Bay A & P Assn. and Athletics Club promoted the idea of entering into an exchange with the Golden Bay County Council (GBCC) under which the Assn would transfer the showgrounds and buildings plus a £750 perpetual loan to the GBCC for the use of sports groups, community organisations and the general public and in return the GBCC would protect ongoing rights of the A & P Assn.

After many discussions the idea was passed, a resolution sealed by the GBCC and the agreement enshrined in an Act of Parliament – section 18 of the Reserves and Other Land Disposal Act 1959 (ROLD 1959). This resulted in the land becoming a recreation reserve for the entire Golden Bay community, while still being available for the A & P Assn to hold their annual show to the same extent as before the transfer.

To protect the Assn, section 18 of the R.O.L.D Act 1959 basically says:

1. The Council must form a standing committee called the 'Showgrounds Management Committee' comprising two members to represent Council, a representative from each of the A&P Assn and Athletics Club and from time to time up to three further members from other Takaka sporting bodies to manage the land.
2. The A & P Assn has free use of the buildings on the land for storage throughout the year and for the A&P show.
3. The Council must hold the £750 perpetual loan and use it for the land's administration.
4. The Council must pay £50 a year (now \$60) to the A & P Assn.

These four conditions are perpetual.

So what's there to disagree about?

The precise extent of Council's legal obligations under the ROLD Act is disputed. It's about more than whether Council can unilaterally remove one of the buildings (the grandstand) in light of the A & P's protected uses of the buildings, but the dispute over the grandstand has brought everything to a head.

Why hasn't it been sorted out by now?

There was to be a High Court hearing in October but Council asked for more time to negotiate, which both the Trust and A & P Assn agreed to. Currently the Trust, A & P and TDC are in negotiation in an endeavour to reach an out of court settlement. All parties are hopeful of settlement by negotiation but if the dispute cannot be resolved this way the parties will make legal submissions and the Court will then determine the precise extent of Council's obligations to the A & P Assn.

Going forward the Golden Bay A & P Assn would like:

1. The Standing Committee appointed promptly by the newly elected Council so something like this doesn't happen in the future.
2. Its protected free use of the facilities and grounds for the A&P show held on the third Saturday in January of every year along with its storage rights.
3. Council to reinstate and maintain the covered, elevated grandstand as one of the buildings protected under the R.O.L.D Act.

This dispute with Council in no way reflects on the Recreation Centre Group who have done a great job in producing the new Recreation Facility for our community. This is a facility our original donors would be proud to acknowledge. One of its functions is to be a replacement building for the A & P Assn's earlier produce booth that stood in the same place. It is exactly the type of facility envisaged for these grounds.

PUBLIC NOTICES / Pānui a whānau

sponsors who donated goods, products or services to help make our weekend tournament of 19/20 October a great success. NBS, Farnwell Spit Tourism, Windham Marketing Ltd, Golden Bay First National, Jade Edmondson, Kathy Reilly, Marlon Tavares, Ratanal Lodge, Stone Arrow Jewellery, Giltz Art Glass, Johanna Ward, Mused Inn, Dill'n'Jack, Mohua Muzik, Tal Rotor, Goodies2Go, Indigo Wise, Peter Cwent, Wood and Pass, Erhard Wingsle, The Rocks Chalets, Aroha Health Spa. Both locals and "out-of-townies" were delighted to win or benefit from this sponsorship. Thank you all.

COMMUNITY Law Service (Simon Jones): Free and

confidential legal help. Information, options available in Golden Bay every Wednesday. Appointments, phone Heartland Services 525 6151. Nelson Office 0800 246 146.

FRESH FM needs your help. Are you willing to host a fundraising event to support local radio? Or help run one? We're a Charitable Trust – a \$30 donation on our website freshfm.net is tax deductible. Email Maureen: talaka@freshfm.net or ph 525 8779, 027 335 1395.

GB Animal Welfare Society Inc (ex-SPCA). Ph Carol Wells 525 8494, 8am-5pm weekdays.



FREE SEMINAR

Tuesday 12 November:

10am to 12.30pm: Residential Rental Seminar. You will learn about: Rental expenses you can claim, Income Tax, depreciation, record-keeping, sale and disposal of residential rental properties, AirBNB, holiday home rentals and online services.

To register your attendance please email: advisory.nelson@ird.govt.nz or ph 0800 377 774

Booking is essential due to limited room capacity



GBHS POOL

KEYHOLDER SEASON DELAYED

We have insufficient volunteers for water testing and covers.

Register for volunteering and purchase keys for \$150 at one of the following meetings in the library, www.gbhs.school.nz/heated-swimming-pool from the school office.

See: <https://www.gbhs.school.nz/heated-swimming-pool.html> for more information.

Monday 4 November 6pm
Wednesday 6 November 6pm



Golden Bay High School

Grandstand trade stand

The Golden Bay Grand Stand Community Trust is running a tradestand at the A&P Show this weekend. Everyone is welcome to stop by to see our display and ask any questions about the ongoing legal dispute to save the grandstand and protect and uphold the use rights that the A&P Association has at law to the showgrounds and its buildings.

The lawyer acting for the association and the trust, Craig Linkhorn from Clifton Chambers, is volunteering on the stand and will be available to talk with anyone who is interested in knowing more about the High Court case against Tasman District Council. The case has been brought so that the A&P Association can continue to deliver an A&P Show of the highest quality every year using the grounds and buildings transferred to council in return for statutory protection of the association's use rights. Craig is very approachable and we invite everyone to call in for a chat.

We are also holding two fundraising raffles – a box of books (including the GB A&P local history books), and outdoor furniture. As well, the last of the 2020 grandstand picture history calendars will be on sale.

We would like to thank all the supporters of the grandstand for their continued encouragement and many for their hard work throughout 2019. Every effort is being made to secure the grandstand for the use of current and future generations. This takes time – the grandstand is currently protected by a High Court order while the legal proceedings and any associated settlement discussions take place.

Golden Bay Grand Stand Community Trust

Project Number: 5G3121.02

Tasman District Council

Golden Bay Grandstand Strengthening Design Features Report - Option B - IL2

11 February 2020

CONFIDENTIAL





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Approved for release by

Hans-Peter Froeling (Senior Project Manager)

Project Number: 5G3121.02
 Tasman District Council
 Golden Bay Grandstand 34% NBS (IL2) Design Features Report

Document History and Status

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Revision Details

Revision	Details

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 Tasman District Council
 Golden Bay Grandstand 34% NBS (IL2) Design Features Report

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Disclaimers and Limitations

This report (**Report**) has been prepared by WSP exclusively for Tasman District Council (**Client**) in relation to Golden Bay Grandstand for strengthening of the building to 34% (IL2) (**Purpose**) and in accordance with the WSP OOS dated 14 October 2019. The findings in this Report are based on and are subject to the assumptions specified in the Report. WSP accepts no liability whatsoever for any reliance on or use of this Report, in whole or in part, for any use or purpose other than the Purpose or any use or reliance on the Report by any third party.

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1 General

1.1 Objective

WSP was commissioned by Tasman District Council (Susan Edwards, refer to letter dated 14 October 2019).

The TDC required a robust cost estimate for the potential reopening of the Golden Bay Grandstand. This report and associated drawings outline the proposed building alterations to meet 34% of the NBS (IL2) for the building complete with requirements to meet Section 112 of the Building Act that covers fire safety and accessibility. The TDC also required additional ablutions to meet the proposed occupant load of the building. The ablution layout is a draft only and is to enable a Quantity Surveyor (QS) to develop an estimate for all the proposed demolition and building work. Refer to meeting on 21 November 2019 & subsequent email dated 21 Nov 2019.

The Seismic section of the Design Features Report (DFR) is a detailed document defining the structure's design criteria and recording key decisions or outcomes. It outlines design loading, structural modelling assumptions, material properties, foundation requirements and design standards. The DFR also defines the calculation procedure and checking principles to be followed, providing a clear explanation of the full design.

The Design Features Report also includes a draft building description for the internal alterations to cover the proposed fire rating of the structure to meet the draft fire report. The building description includes ablution fittings and fixtures to enable a QS to undertake the costings. The surface finishes, fixture types and manufacturers models etc are not fixed but can be altered to suit to the various parties. However cost implications for higher quality or different types of sanitary fittings will need to be considered in final design and cost estimating before tendering.

The weathertightness and durability of the Grandstand after demolition of the various buildings/structures can be fully assessed once all the exterior surfaces can be inspected, especially around existing windows, doors and junctions of cladding types.

A draft fire report was commissioned by WSP and this is included in this report. This report will need to be updated once the final design brief has been decided by various parties. The TDC requested that the exterior wall adjacent to the Golden Bay Recreation Centre be fire rated to 60FRR in case the Golden Bay Recreation Centre is used as a Civil Defence Centre and temporary sleeping is undertaken in the Recreation Centre.

The occupant load has been artificially set to a total of 300 persons, and to achieve this a number of the bench seats on the 1st floor are proposed to be sealed off so they cannot be occupied. The building layout on the ground floor has been set so the spaces are to be used as a storage areas and a small low occupancy gymnasium be installed. The number of public toilets is in excess of the minimum required under the Acceptable Solutions of the NZ Building Act G1/AS1. The number of toilets was for the full occupant load of the 1st floor bench seating and some of the space on the ground floor to be used for standing room such as a bar/club rooms. The number of public toilets can be altered to suit the final use and occupant numbers for the building.

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1.2 Scope

The scope is in accordance with the Design Brief and Conditions of Engagement. Refer to WSP Offer of Service dated 14/10/2019

In general terms, the scope of work is as follows:

Our proposed scope of work for this project will be as follows:

1. Carry out a site visit to check on the condition of the grandstand and inspect structural elements in detail in order to inform the design.
2. Carry out structural designs for the strengthening of the grandstand to minimum 34%NBS (IL2) for both options 1 and 2 (as detailed in 16 August 2019 email). Strengthening design will include the following:
 - a. Reinstating/adding structure as required due to removal of the structures that are to be demolished.
 - b. Reinstating access to the upper seating level of the grandstand. This access will be for ambulant people only, no wheel chair access is considered (confirmed via email by Don Robertson 23 August 2019)
 - c. Structure and linings to achieve the fire report requirements.
 - d. Structure and framing design for a new toilet block, preferably inside the building envelope.
3. Liaise with the heritage architect engaged by Tasman District Council to achieve Heritage New Zealand requirements. This may relate to the seismic strengthening as well as cladding of the facility to achieve the required weather protection.
4. Provide a peer review (WSP Opus internal review) and PS1 producer statement (design) for the structural strengthening works.
5. Prepare CAD sketches/drawings and related specification sufficient for a quantity surveyor to prepare a construction cost estimate.
6. Engage a subconsultant to prepare a fire report for the facility, factoring in that the adjacent Recreation Centre is a CDEM building requiring sleeping occupancy. Carry out desktop research of repair methods, materials, construction methods etc. The report will take both options 1 and 2 into consideration. A performance specification for the fire alarm and fire security will be prepared by WSP Opus engineers.
7. Schematics of electrical design to identify lighting and power modifications required to safely use the facility
8. Number of toilets required under the current Building Code will be established to cater for 300 occupants of the facility. Hydraulic schematics suitable for a plumber to design and build these toilets will be prepared. The preference is to include the toilets within the current building envelope.
9. Schematics and specification for compliance related aspects, such as (but not limited to) fire alarm, emergency lights, exit signage, accessibility updates all of which may be required when lodging a building consent.

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2 Options

The TDC requested WSP to review two options for the building layout which has a direct bearing on the occupant load plus the general layout of the ground floor structure.

Option 1 – demolition of the Kitchen/Ablutions extension and the Squash Courts. The Rugby Club Rooms extension to be retained. Re-instate the stairs to the 1st floor Grandstand. The Rugby Club Room extension increased the grandstand footprint on the ground floor by approximately 68.5m²

Option 2 - demolition of the Kitchen/Ablutions extension and the Squash Courts. The Rugby Club Rooms extension to be demolished. Re-instate the stairs to the 1st floor Grandstand.

In both options to achieve the occupant load of less than 300 (can congregate in one area) for the building to meet IL2 requirements (refer to AS/NZ 1170.0 :2002, (table 3.2 Importance Level for Building Types – New Zealand Structures), the occupant load is required to be reduced.

The bleaches/bench seats (10 rows) can in theory (Acceptable Solutions of the NZ Building Act C/AS4 table 1.2 and fixed seating where arms are not provided) equates to a maximum of 352 people.

The current aisle width and number will need to be reviewed to determine if Clause 3.7 and associated table 3.3 are meeting (C/AS2) in the final fire report with the occupant load of 300 for the 1st floor. The aisle widths may need to increase from the current widths.

If three rows of bleaches seating is removed and area blocked off, proposed occupant load for the 1st floor Grandstand is 244.

3 Structural

3.1 General

The structural calculations for the strengthening assume that the existing structure is in sound condition and that there are no durability issues that may adversely affect the structure. The Engineer is to be notified of any defects, damage or durability issues encountered on site during construction.

3.2 Means of Compliance

3.2.1 Standards

The design of the structure is in compliance with the New Zealand Building Code (NZBC), section B1.

The following standards have been used:

- AS/NZS1170.5 Earthquake Loading
- NZS3101:2006 Concrete
- NZS3404:1997 Steel
- NZS3603:1993 Timber
- NZS3604:2011 Light-weight Timber Framed Buildings

3.2.2 Alternative Solutions

No alternative solutions are being used on this strengthening design.

However, the seating capacity of the grandstand is being limited to ensure that the strengthening solution can fit into the scope of an Importance Level 2 (IL2) structure rather than an Importance Level 3 (IL3) structure. This is being achieved by blocking out the upper three rows of the grandstand seating with light-weight timber framed walls (lined with timber horizontal battens to prevent their use, i.e. reduce the occupant load on 1st floor.

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This capacity restriction will be posted on the Grandstand entrances and exits. "Max Occupant No 244"

3.3 Proposed Strengthening Works

To meet at least 34%NBS(IL2)

3.3.1 Gravity structure

The gravity load-path uses a combination of the existing timber posts and timber framing that is present in the original grandstand. New timber walls and posts are being added to the building foot print as part of the strengthening works. These new timber elements, along with the structurally sound existing timber elements, will provide a dependable gravity load-path transferring loads to the foundations.

3.3.2 Lateral Load Resisting structure

Plywood timber sloping ceiling diaphragms, and horizontal and shear wall diaphragms are proposed to accommodate the lateral load-path demands. The plywood timber ceiling diaphragms extend across the full foot print of the building. Eight plywood shear wall diaphragms are proposed and are well distributed with four walls in each building orthogonal direction.

3.3.3 Significant Design Features

The following features form a significant part of the new design and load paths:

- Removal of all extensions to the original timber grandstand, i.e.
 - Annex along the northern wall containing the kitchen / showers etc
 - Squash Club along the western wall
 - Rugby rooms along the southern wall (optional)
- Two new access stairs will be provided at each southern corner of the grandstand adjacent to the east and west walls

3.4 Soil Conditions

3.4.1 Description of Site Soil Conditions

At the time of writing, a formal soil description has not been obtained. However, it is believed, that the ground will satisfy the definition of "good ground" as defined in NZS3604:2011

3.4.2 Soil Design Values

Ultimate Soil Strengths

An Ultimate Limit State soil bearing pressure of at least 300kPa, in natural ground conditions, is assumed to be present at the site of the original grandstand.

3.5 Design Loads

3.5.1 General

This structure is considered an Importance Level 2 structure in accordance with AS/NZS 1170.0:2002.

3.5.2 Vertical loads

The table below summarizes all the applied design Live Load actions.

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Table 1: Imposed Gravity, loads,

Standard	Specific uses	Application	Load action	Conc load action
AS/NZS 1170.1:2011	Grandstand Imposed seating – Table 3.1 - C3 - Areas without obstacles for moving people	Vertical load on timber grandstand joists, steel main beams and main beam supports	4.0kPa	4.5kN
AS/NZS 1170.1:2011	Grandstand Imposed Actions for Barriers – Table 3.3 – C5 - Areas susceptible to over-crowding	Handrail loads; (a) top rail horizontal (b) top rail vertical... (c) horizontal gross area load (d) Infill horizontal gross area load (e) Infill point load any direction	3.0kN/m 0.75kN/m 0.6kN 1.5kPa N/A	N/A N/A N/A N/A 1.5kN

3.6 Seismic Loads

Standard	Specific uses	Application	Load action
AS/NZS 1170.5:2004	ESM approach to cl. 6.2.1.3	Earthquake Horizontal 34%NBS(IL2) Base Shear Action for the worst-case plywood timber shear wall	37.0kN

3.6.1 Site Parameters

Site subsoil class: D
 Proximity to fault: Greater than 20km.

3.6.2 Analysis Methodology

The seismic analysis has been completed in accordance with AS/NZS 1170.5:2004, using the equivalent static method.

Design Spectra are in accordance with AS/NZS 1170.5:2004 for site subsoil class D.

3.6.3 Seismic Load Coefficient - Parts and Components

In accordance with AS/NZS 1170.5:2004, ESM cl. 6.2.1.3

Zone factor, Z: 0.23
 Period (T) = 0.4 seconds
 ULS Ductility = 1.25

3.7 Design Life for Durability

3.7.1 Design Life

New Foundations: 50 yrs

New Superstructure: 50 yrs

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3.7.2 Durability Provisions

Durability provisions are achieved by:

Acceptable Solutions B2/AS1

- Reinforced Concrete: NZS 3101: 2006 Part 1 Section 5 is an acceptable solution for durability with durability requirements met through covers equal to or in excess of the requirements of the standard.
- Timber: NZS 3602: 2003 Part 1 is an acceptable solution for meeting durability through treatment in accordance with the standard.
- Any durability issues exposed on site during construction phase are to be reported to the Engineer immediately. The Engineer will determine whether the reported durability issues need to be remedied via a Site Instruction to the building Contractor.

3.8 Summary of Surface Treatments

Refer to the Construction Drawings

3.9 Software

The following computer applications have been used:

Table 3: Software Used

Analysis type	Software used	Archive files
Concrete beam simple bending design	Excel Spread Sheet	-
Horizontal Seismic Shear	Excel Spread Sheet	-

3.10 Material Properties (Typical)

3.10.1 Concrete Strengths

New Foundations (characteristics) 25MPa

3.10.2 Reinforcing Steel

New Reinforcing 500E (characteristics) 500MPa

3.10.3 Structural Timber

Internal framing not exposed to weather MSG or VSG 8/H1.2

External; framing exposed weather MSG or VSG 8/H3.2

External posts exposed directly to the ground MSG or VSG 8/H5

Internal Plywood on timber shear walls Grade F11, CD H1.2

External Plywood on timber shear walls Grade F11, CD H3.2

3.10.4 Timber Connections

Exterior exposed Grade 304 Stainless Steel

Interior exposed Grade 304 Stainless Steel

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3.11 Proprietary Systems

Refer to manufacturers documentation

3.11.1 *Manufacturers Design Requirements*

Refer to manufacturers documentation

3.11.2 *Manufacturers Constructions Requirements*

Refer to manufacturers documentation

3.12 Limitations

The seismic design that this report details is limited to the earthquake strengthening elements that form an integral part of the original timber grandstand structure. The following exclusions apply:

- The compliance of the historic codes has not been assessed.

4 Demolition

The following is proposed to be demolished

- Existing Squash Courts & associated room on southern side of the Grandstand. The demolition will include the concrete slab. The building is a 2-storey structure with the combination of concrete block and timber framing. The squash courts for the building may contain at least 3 walls of concrete block to the full height of the building. The building had exterior asbestos containing material (ACM) cement sheet cladding on the 1st floor and this has been removed.
- The kitchen/toilets/changing room on the western side of the grandstand. This building is a mixture of series 200 concrete block and timber framing. Some internal partitions have concrete block walls. The concrete floor in the kitchen/bar area has ACM floor vinyl and this will need to be removed as part of the demolition process
- Depending upon which option is to be pursued, the existing ex-Rugby Clubrooms extension will either be retained or removed. If the extension is to be removed, allow for external walls except for structural posts supporting the original grandstand will need to be replaced where these have been removed. The extension is timber framed structure with low pitch timber framed roof and all will need to be removed. Allow to remove any concrete foundations not required for this extension. The existing windows could be retained and re-used in the Grandstand structure.
- The 1st floor of the Grandstand, three rows of the timber bleachers to be removed. Allow to make good the 1st floor where bleachers support are removed.
- The redundant ticket box (located on left hand side looking towards grandstand) on the 1st floor to be removed.
- The existing two staircases have been removed from the building, these to be disposed with the rest of the demolition material.
- The Grandstand has asbestos (exterior sheet and floor vinyl) and this will need to be removed by a licensed asbestos clearance contractor before or during the renovation work.

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5 Building Envelope

The existing building envelope will be modified when the Squash Courts and kitchen/ablutions and Rugby Club Rooms extension are being demolished. Currently a significant area of the building is clad in short run corrugated steel and painted.


The existing envelope that is to be retained has not assessed re the , condition of the cladding, weathertightness and compliance to current to meet Acceptable Solutions of the NZ Building Act, and any potential damage to the structure from water ingress. Examples of the envelope are shown below.

Building Envelope Photos	
	
<p><i>North end elevation of grandstand. Cladding short run corrugated iron painted. Gable end has asbestos cement sheet</i></p>	<p><i>West facing elevation, ex Squash Court Bld on the right to be demolished. Existing Toilet/Kitchen extension to be demolished. Grandstand exterior cladding short run corrugated iron painted</i></p>
	
<p><i>West facing elevation, ex Squash Court Bld on the right to be demolished. Existing Toilet/Kitchen extension to be demolished. Grandstand exterior cladding short run corrugated iron painted</i></p>	<p><i>East facing elevation, ex Squash Court Bld on the left to be demolished. The Rugby Club Room extension to be demolished</i></p>

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Building Envelope Photos	
	
<p><i>Grandstand Internal View of structure</i></p>	<p><i>Grandstand Internal View of south facing of wall. Note view of various types of cladding that will be exposed when the Squash Courts building is demolished</i></p>
	
<p><i>View of existing framing & weatherboard on south facing wall (Squash Courts when demolished will expose) where proposed ablution area are to built</i></p>	<p><i>View of existing framing & weatherboard on west facing wall (Kitchen etc when demolished will expose)</i></p>
	
<p><i>Grandstand - internal view of 1st floor, note underside of corrugated galvanised roof</i></p>	<p><i>Grandstand - internal view of 1st floor, note underside of corrugated galvanised roof. Note corroded steel work</i></p>

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Building Envelope Photos	
	
<p><i>Grandstand - internal view of 1st floor, note underside of corrugated galvanized roof. Note corroded steel work</i></p>	

The condition of the existing short run corrugated iron will need to be assessed, it should be noted the paint may contain lead-based paints. Any re-painting of the existing structure will need to take into account preparation and potential removal of the lead-based paints.

The south facing wall of the Grandstand currently covered by the Squash Courts building has not been fully assessed or sighted. The extent of any cladding is not known and the condition of the timber framing is not known in some areas. With the removal of the kitchen/shower/changing room etc, the west facing wall of the original grandstand will be exposed. It appears that some of the exterior timber weatherboard wall cladding is present. Allowance will be required to make good the existing door openings and re-clad with appropriate weatherboard to match existing (note a special run maybe required to obtain the correct profile). A review of the junction between existing weatherboard and vertical corrugated metal cladding will be required. It maybe decided by TDC or others to remove all the existing corrugated galvanised sheet and expose all of the weatherboard. There could be other external cladding types on this south facing wall, such as concrete stucco or vertical timber battens(ship lap) of indeterminate age and condition.

The roof has not been inspected and will need to be assessed in the future. The gutters and downpipes will need to be visually inspected, cleaned and possibly repaired after the demolition of the various buildings.

With the age of the existing corrugated sheets, there maybe corrosion on the underside of the sheets not visible from external inspection. This will need to be considered and replacement corrugated sheets maybe required, if the corrugated galvanised sheet is be retained as one of the exterior cladding systems.

The original cladding of the building appears to be timber weatherboard and some of this maybe present in areas hidden (behind corrugated sheetmetal cladding) from visual inspection. Refer to historic photographs of the building that show the timber weatherboard and gable ends with what appears to be vertical battens. If building is to be renovated to match historic construction, then the re-cladding with weatherboard will be required, profile to match existing.

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Golden Bay Grandstand – circa 1910-1920

6 Proposed Building Alterations

The building will need to have passive fire protection on the exposed structural members of the building, refer to drawings. The existing posts, exposed beams and ceiling of the ground floor require 60FRR and the wall adjacent to Golden Bay Recreation Centre is to have 60FRR plaster board (one way) fixed to the existing studs. Appropriate framing out & batten for the plasterboard will be required. Allow for stopping and painting (1 sealer coat & 1 primer) of these surfaces.

The rest of the structure which has exposed timber framing will require to be covered by plasterboard 12mm thick. Allow for stopping and painting (1 sealer coat & 1 primer) of these surfaces.

In Option 2, the structure will require a new external wall facing the playing fields to be rebuilt. This will require a new reinforced concrete footing (estimated size of footing 240mm wide, 150mm wide foundation wall and foundation to be no less than 200mm or solid ground), timber framing (size to be determined), external cladding either corrugated steel or timber weatherboard. Line the internal wall with 12mm thk plasterboard. The existing windows from the demolished wall could be relocated into the new external wall, complete with lintels to support structure. These details to be determined once final building layout and surface finish has been finalised.

Option 1 - Occupant load (Rugby Rooms Extension kept) & Reduction in 1st Floor seating

The Grandstand final configuration to be decided, but we have made allowance for public toilets (male/female & accessible toilets)

The occupant load for the building depends upon the final configuration of the building, i.e. Option 1 – retain the Rugby Room Extension or Option 2 – demolish the Rugby Room Extension.

The original ablution layout was for a larger occupant load, i.e. 352 people for the 1st floor and an underdetermined purpose group for the ground floor main spaces. A worst-case scenario was taken, i.e. higher occupant load. The initial total occupant load was 423 for both floors, the TDC required the occupant load to reflect the ground floor to have more storage space and a small gym and reduce the 1st floor occupant load.

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The proposed ablution layout and sanitary fittings reflects the greater occupant load. Once the occupant load and final use of the ground floor has been defined the number of sanitary fittings (male/female and accessible toilet pans, whb's) can be determined. It is anticipated the number of sanitary fittings will smaller. The TDC may decide the new public toilets have a greater number WC' pans etc to cater for larger public events at the Golden Bay Recreation Park (i.e. A & P Shows etc).

The occupant load for Option 1 is as follows:

Ground floor – total floor area - 205m² approx. the new toilets floor area 50m², therefore potential floor area for occupancy to be 155.2m², less storage areas (existing rooms) – 32.5m², estimated. The potential occupied area 122.7m². Allow 5m² per person, total occupant load 25 (Gym occupancy)

1st floor – 352 persons (refer to email from Mr Phil Beck Technical Lead – Building Assurance – TDC dated 13/7/2018)

Toilet occupant No calculation, refer to G1/AS1			
Floor	Occupant load from Fire Report	No Male (0.8 of total- refer to table 3 G1/AS1)	No Female (0.6 of total refer to table 3 G1/AS1)
Ground floor	25		
1 st Floor	352 but change to 300 refer to status for IL2, bleaches seats able to hold 244		
	265	212	159

No of toilets, refer to Table 1 G1/AS1 (assembly service)

Female

1 WC, 1 WHB (1 WC & 1 WHB in accessible facility, see below)

Male

2 stand urinal & 2 WC's, 2 WHB (1 WC & 1 WHB in facility toilet, see below)

Accessible

Total 2 WC/2 WHB's, one for male & female facilities

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Option 2 - Occupant load (Less Rugby Rooms Extension) & Reduction in 1st Floor seating

Ground floor – total floor area - 136m² approx. the new toilets floor area 50m², therefore potential floor area for occupancy to be 86m² (allow 5m² per person). Occupant load potentially 17

1st floor – 300 persons

Toilets

Toilet occupant No calculation, refer to G1/AS1			
Floor	Occupant load from Fire Report	No Male (0.8 of total- refer to table 3 G1/AS1)	No Female (0.6 of total refer to table 3 G1/AS1)
Ground floor	17		
1 st Floor	352 but change to 300 refer to status for IL2, bleaches seats able to hold 244		
	261	173	157

No of toilets, refer to Table 1 G1/AS1 (assembly service)

Female

1 WC, 1 WHB (1 WC & 1 WHB in accessible facility, see below)

Male

2 stand urinal & 2 WC's, 2 WHB (1 WC & 1 WHB in facility toilet, see below)

Accessible

Total 2 WC/2 WHB's, one for male & female facilities

6.1 Construction & Dimensions of Toilet spaces

The existing timber T & G floor is to be removed in the ablution area. Allow to check the existing floor joists and piles. Around circumference of the opening, boxing/shutters and pour a concrete floor with 665 HRC mesh (grade 500E), ensure concrete slab complete with footing is poured over a DPM with 25mm thick sand layer, 75 to 100mm thick suitable compacted hard fill. Allow for graded fall to floor wastes in each toilet. Apply a waterborne epoxy coating on the floor (2 pot water based).

Framing for toilets shall be 90x45 (SG8)H1.2 at 400mm crs and dwangs at a max centres of 1350mm. Timber framing for walls, lined with plasterboard (12mmthk), Internal wall lining into each space, use 6mm thk Hardiglaze (floor to ceiling). Toilet partitions – KerMac (K Standard) or similar. Make good any of the existing framing to ensure walls are plumb. Some of the existing studs may need replacement due to defects like dry rot or openings for redundant windows or doors.

Ceiling, frame up with 190x45 (SG10) H1.2 ceiling joists at 600crs. Allow for battens and fix 12mm thick plasterboard. The ceiling to have two manhole place for accessing the ceiling space to check and maintain services (e.g. fire protection system).

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A separate cleaners cupboard c/w cleaners sink will be needed, final location to be decided, sink to have 15mm hot & cold-water taps. Allow for shelves for cleaners supplies.

The ceiling to be prepared and painted to meet expected conditions, i.e. use Resene paint system suitable for wet areas (allow for at least 2 final coats), after sealer paint and primer paint.

Allow to install polyester/fibreglass batts in external and internal walls. Insulate the ceiling as per walls.

Allow for new exterior Toilet doors (solid core) 1980x960 wide. Allow for concrete pad outside (1200x1200x 150mm thick – reinforced with HRC), a rainwater drainage channel complete with grating to be allowed for to provide accessible entry.

Natural ventilation of spaces – i.e. windows high level with air ventilation, i.e. “Easy Air Ventilation). Requires 10 litres/sec per person, allow for 6 person per toilet, quantity 60 litres/sec. Safety factor – design for 100 litres/sec. using continuous air volume.

Windows on west facing wall, allow for fixed panes (double glazed with diffused glazing), windows - 1800mm long x 450mm high, 2 per male & 2 per female toilets

6.1.1 Sanitary Plumbing

Allow for floor waste at lowest point (50mm dia waste) in each toilet (for wash down) - AllProof or similar. The design includes for 2 GT, one per toilet facility (male & female), 100 PVC waste from each WC & GT, combine both sets of toilet facility waste into 150PVC at 1:60 fall (to be checked)

WC – 100 mm dia waste, Urinal – 40mm dia waste, WHB, allow for 40mm dia wastes. Two new GT to be placed on outside wall



Approximate existing sewer location (check TDC records, 150mm dia pipe)

Connect new 150 sewer in here, check TDC drainage records

Golden Bay Grandstand – sewer connections

- WC – normal porcelain bowl, recessed cistern in wall cavity, wall hung
- Urinal – porcelain bowl – top inlet say Vitra or Patio Urinal
- WHB - Caroma Centro for main vanity and mounted in a laminated top
- WHB – accessible, Caroma Venecia 560mm basin

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Allow for the following: urinal water controller and 2 electric hand dryers in Male Toilet and 2 hand dryers in Female toilet. The accessibility toilets to have associated grab rails. All toilets to have TDC approved toilet paper holders, rubbish bins etc.

6.1.2 Potable Water

There appears to be no "As built" for the potable water. Therefore allow for a 25mm dia water supply, c/w isolating valve and backflow preventer (testable double check valve -DCV, complete with filter, mount above ground on western wall of the grandstand) and connect to TDC water supply. The water pressure not known for this site (to be checked) in area.

The Golden Bay Grandstand Heritage Trust could have a separate 25,000 litre water tank installed, connected to the grandstand roof stormwater system. Also recommend one additional tank to be added for future firefighting water supply and interconnect with the potable water supply. Note this will take up additional carparking space. Allow for interconnection with the potable water supply via isolating valves, NR valve and associated filter and pressure pump. These two tanks will reduce the potential carparking requirements for the site.

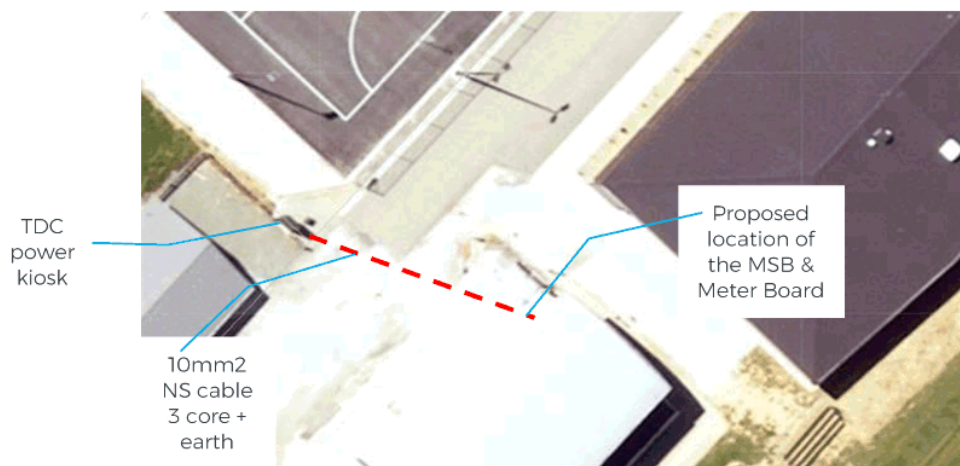
Allow for LPG instantaneous gas water heater, allow for Rheem 27 LPG Instantaneous water heater and one 45kg Bottle. Allow for water heater to be "install or inbuilt" model, less chance of vandalism or being stolen. The LPG bottle to have cage. The LPG supply to meet requirements of relevant standards and include any automatic shutoff the LPG supply when the fire alarm system is activated.

WHBs to have Delabie Tempostop 2 (time flow basin tap) allow for accessible tapware for the 2 accessible toilets.

Allow for one 15mm tap for washdown of each toilet area complete with a lockshield top.

6.1.3 Electrical Supply

Allow for a new 10mm² 3 core plus earth NS 3 phase power supply from TDC kiosk. Assume max of 55amps but fuse lower. The external cabinet (ICP) and meter to be allowed for. The cable size allows for future loads (e.g. heaters, potential kitchen etc and gym equipment etc). Refer to aerial photo for route. A new electrical services trench to kiosk, cables to be protected (conduit and concrete protective slabs). Approximate cable length 20m underground plus cable at each end. Cable to be below the ground at a min of 600mm with mag slab strips as per Network Tasman Ltd (NTL) requirements.



Proposed U/G power mains route

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Allow for new 3 phase switchboard and new meters. Allow for rewiring all new lighting and power circuits in the building, max of 8 double switch outlets in unoccupied space on ground floor. No power outlets on outside and 1st floor. Need a separate power supply for the FA panel and LPG gas water heater. A security system maybe installed for the ground floor area – to be decided by TDC.

Note lights will need to be surface mounted for ground floor spaces due to the fire rated ceiling. The 1st floor to have amenity lighting and initial design allows for 12 LED batten fittings c/w diffusers. The external stairs will require several amenity lights, location, size and type to be determined once final configuration has been determined. The ground floor area, the number of LED light fittings will depend on the room configuration and use.

6.2 Other Building Work (Reduction of 1st floor Seated Area & Making Good Walls etc)

After demolition work is completed, the exterior walls revealed by the removal of the various buildings and these will require making good. The exterior walls with timber weatherboard to be assessed and any openings not required to be reframed and new timber weatherboards installed. Allow for weatherboard to match existing profile. Prepare prime coat the new weatherboard.

The existing windows from the Rugby Club Rooms to be re-used in Option 2, the new external wall will require timber weatherboard to match the existing weatherboard. A new concrete foundation wall along the length of the new wall line, to be design, built to meet NZS3604 section 6. Final details & design to be decided when documentation for BC & tendering is undertaken. Allow for reframing of the new exterior wall, replacement of any of the existing timber structure where rotten timber is evident.

All interior wall linings on the ground floor where removed will require to have 12mm thick plasterboard. The preliminary fire report requires 60FRR for the ceiling of the ground floor to protect the 1st floor. This is to be achieved by appropriate Gib Board solution and the existing and new columns supporting the structure and the steel lattice beam to also be fire rated to 60FRR. Penetrations thru the ceilings will need to have the appropriate passive fire treatment. The exterior wall facing the Golden Bay Recreation Centre to be fire rated to meet 60FRR.

Some or most of the 100x100 timber posts that supported the original section of the grandstand 1st floor at the eastern facing elevation (front of the building) had been removed. These posts need to be replaced to support the 1st floor structure in option 2. These posts (approx. 7 new posts) shall be 100x100 H4 laminated posts with SS post brackets mounted into concrete pads. The final fixing of the new posts to the existing structure to be decided by structural engineer. Posts to be primed and painted with 1 undercoat.

To reduce the potential occupant load for the 1st floor, the top 3 rows of timber bleachers to be removed. Frame a new wall to be 2.8 to 3.0m high by 16.9m long approx., (assume non-load bearing), studs 90x45 @ 400mm centres, dwangs to NZS3604. Line exterior facing side of new wall with either match line timber (90x15 dressed H3.1) or plywood 12mm thick H3.1 or similar treatment. Three access panels will be required for this space (3 storage spaces because of new shear walls) for servicing the active FA system detectors. The new storage area will have four new shear walls built, including 2 internal shear walls. The shear walls to be at least 125x50 H1.2 with 9mm thk plywood screw fixed to framing.

Where the redundant ticket booth, allow to make good floor where building has been removed.

The existing curved steel structure angles and associated fixings the 1st floor requires to be sand/grit blasted to remove accumulated rust & scale, approximate number of steel supports is 12. Prepare and repaint with an inorganic zinc silicate primer and final coats of paint to suit colour scheme. The type of final paint to be made in conjunction with a paint representative.

At the northern and southern end, making good of the openings for the stairs is required. Allow for new H1.2 framing (sizes will depend on wall construction, allow for either 125x40 or 90x40) with

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weatherboard to match existing on external face, internal lining. New cladding to be painted to be weatherboard to match existing (either 90x15 or 140x15 H3.1- bevel backed, prime and 1 undercoat), final colour scheme etc by others. The final heights of the barriers to be at least 1100mm high. Allow for inside face to be lined with H3.1 timber to match existing, primed and painted 1 undercoat.

The original barrier on the 1st floor will need to be assessed to be check complying F4/AS1 when final design and documentation is undertaken, it appears the current barrier is between 650mm to 700mm high and is a solid timber barrier. To meet F4/AS1, the barrier will need to be redesigned to meet table 1 of F4/AS1, i.e. 1100mm high. However issues with sight lines will occur with the bottom two rows of bleachers which may have visual issues. The existing barriers could be removed and a more appropriate clear (glass) barrier that meets F4/AS1 could be considered.

The existing external door openings to have compliant concrete slabs built. Allow for drainage channel at each opening where required to take stormwater away from door. Use Dux Connecto system or similar. Final heights of the ground level for site need to be reviewed and surveyed to develop a more comprehensive stormwater collection and drainage solution.

A new double solid core (2 leaf's 860mm wide x 1980mm high, with glazing panels), profile to suit Grandstand heritage aspects. Allow for suitable hardware, c/w door holders and door stops.

All door hardware to have a master lock system, either match with the adjacent Golden Bay Recreation Centre or have a separate system. The public toilets to be separate to the rest of the doors into the grandstand.

The replacement of the original windows and glazing at the southern and northern end of the grandstand are outside the brief and this design features report.

No allowance for insulation of the existing ceiling in the ground floor has been made.

Two new sets of timber staircase to be built, staircase to be at least 1200mm wide, handrail & balustrade to meet F4/VM1 & AS1. Refer to sketch plans for profile of steps. The stairs to be supported by H3.1 laminated posts c/w SS post brackets, concrete foundation pads. The Final design to be confirmed. The stairs to have nosing's such as "Tredsafe" nosing's with a 'Safety Yellow' insert. Suggested treads to be ex180x45 (double to give tread width of 310mm) and stringers to be either MS flat or ex 300x50 (H3.1). allow for stainless-steel fasteners etc. The risers shall be closed (i.e. not open risers). The balustrades, allow for H3.1 45x45 posts at 100mm min spacings between posts, fixed to a bottom rail 90x45 H3.1 and top rail 125x45 H3.1 – allow to prime and 1 undercoat.

6.3 Existing Timber Condition and Treatment

The existing 1899 Grandstand used native timber for the structure and weatherboards etc. A full assessment of the whole structure for borer has not been undertaken. However parts of the building may have had borer infestation over the years and it is not known if the Tasman District Council and its predecessors did undertake borer treatment. Allow for inspection of the existing framing after the other buildings have been removed and full access to all of the existing structure can be undertaken.

The whole building to be borer treated. Review the badly damaged parts of the structure and in consultation with the structural engineer, remove timber where required. Replace any studs/dwangs and weatherboard as appropriate.

A PC sum to be allowed for the borer treatment.

6.4 Lead Based Paints

The existing grandstand paint system has not been assessed for "lead based paints". There could be parts of the building that still contain lead-based paints on weatherboards, on the 1st floor paint systems. The paintwork should be tested in several areas, i.e. 2 to 3 samples per external wall, 1st

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floor bleachers and associated timber work on 1st floor. Estimated number of samples could be in the order 16 to 20.

Allow for a PC sum for paint preparation of the building for removal of lead-based paints.

6.5 Repainting of Building

The repainting of the building has not covered in this design features report. The final colour scheme, paint system will depend upon the Heritage Architect or others including TDC and the type of external cladding to be either retained or changed to suit agreed heritage values. If a large amount of the existing external cladding is required to be replaced, this should be primed and undercoated ready for final paint system and colours.

It should be noted that scaffolding will be required for this work or some other form of height safety equipment (access hoists or mobile access equipment like spider cranes etc).

6.6 Fire Protection - Active

The fire report propose a type 4 fire alarm system to NZS4512, allow for system to have a linear wire or other types of thermal detectors in the Grandstand ceiling (better for maintenance & less issues with nuisance alarms). Note ceiling space between toilets and grandstand will require coverage.

The site will have LPG reticulated to instantaneous LPG heater and a gas shut off valve and interconnect with the fire alarms. All interfaces to be tested via the evacuation switch on the FA panel.

Fire alarm panel located on external wall (recessed). Allow for window and framing to suit panel size.

Interconnect the FA panel to Golden Bay Recreation Centre FA panel for the remote monitoring. Grandstand panel to be an indicator panel

6.7 Emergency Lighting & Luminated signage

A design has been undertaken, system to meet requirements of the NZ Building Act F6/AS1 and designed to AS/NZS2293 and F8/AS1. This will need to be revised once final configuration has been completed.

Refer to design & associated equipment schedule. Final design may have different locations of some of the fittings. Consideration for combined emergency/amenity lights in some areas should be considered.

The system will require an E/L test switch on the MSB, 0 to 30 min run on test timer. System to be tested 6 monthly.

6.8 Landscaping/Carparking

Allow for steel guard rail and timber posts to protect the southern side of the building, this will provide a protected path between the building and carpark for non-ambulant people to access the ground floor entrance and prevent vehicle from damaging the LPG storage area.

The carpark to be developed as per original design and line marking. Review levels of proposed carpark and the grandstand to ensure stormwater collection and drainage meets E1/AS1 of the Building Act. The Grandstand may be too low and a review of falls around the building will be required with appropriate solutions to meet the NZ Building Act.

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 Golden Bay Grandstand 34% NBS (IL2) Design Features Report

6.9 Asbestos

The gable end of the Northern end of the Grandstand has ACM sheet, this should be removed by a licensed asbestos clearance contractor and gable end re-clad to suit the heritage architects (to be appointed by TDC etc) recommendations. The gable of the Southern end of the Grandstand has not been viewed and the cladding material will be exposed when the Squash Courts are demolished. Review and if ACM is exposed, this to be removed.

The demolition of the kitchen/existing toilets/shower area at western side of the building has asbestos floor vinyl glued to the concrete floor. This asbestos to be removed before demolition either as Class A (friable asbestos), or Class B (non-friable), depending upon methodology of the licensed asbestos contractor. The methodology will need to be agreed with demolition contractor, asbestos clearance contractor and asbestos assessor.

6.10 Security System

The TDC or other parties may require a security system, a separate power supply has been allowed for. Recommend a PC sum be considered

7 Fire Report

A preliminary fire report for the proposed alterations has been undertaken by Fire Designs (dated 7/11/2019), and this uses Option 1 floor plans. The Means of Escape, escape path and occupant load will differ for Option 2. The 1st floor stair layout will alter the final exit points from the 1st floor. However the general assumptions for the passive fire rating requirements do not alter i.e. fire rating of the ground floor ceiling to protect the 1st floor and escape paths lengths will stay the similar. The fire rating of the north facing wall whilst not addressed in the preliminary fire report has been covered in the sketches and this document.

A final design fire report will be required after a decision has been made on what option is to be proceeded with. The occupant load and use of the ground floor and final occupant load of the 1st floor can then be decided. However the basis of a type 4 FA and emergency lighting will stay the same.

A copy of the preliminary fire report is in Appendix B.

8 Limitations

The preliminary design features report details are limited to the following:

- to the earthquake strengthening elements that form an integral part of the original timber grandstand structure and the following exclusions apply:
- The compliance of the historic codes has not been assessed

The design features report does not address which cladding choice will used, i.e. to match historic . It is a choice between the various parties. And this will need to be addressed before final design & documentation is completed for building consent.

Appendix A Golden Bay Grandstand

(Option 1 & 2 drawings)



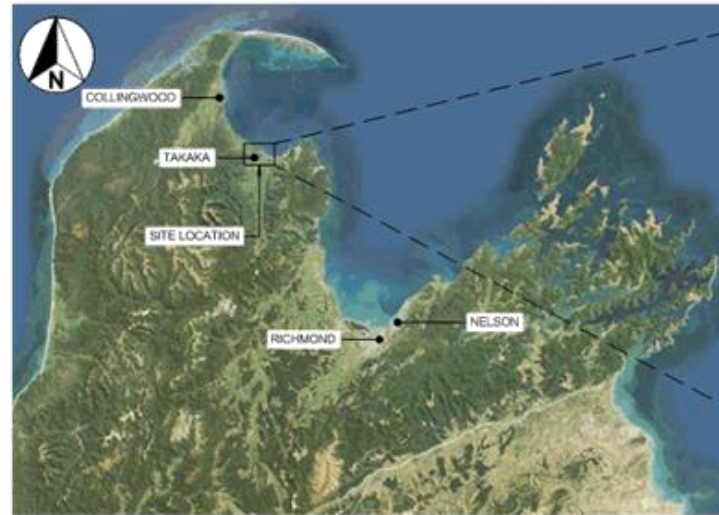
**TASMAN DISTRICT COUNCIL
GOLDEN BAY RECREATION CENTRE, TAKAKA
GRANDSTAND STRENGTHENING**

**STRUCTURAL
FOR PRICING**

Project No: 5-G3121.02
Date: 2020-02-11

NOT FOR CONSTRUCTION

TASMAN DISTRICT COUNCIL GOLDEN BAY RECREATION CENTRE, TAKAKA GRANDSTAND STRENGTHENING



AREA MAP
NTS



LOCATION PLAN
NTS

DRAWING INDEX

SHEET #	TITLE
S00	COVER SHEET
S01	LOCATION PLAN AND DRAWING INDEX OPTION B/IL2
S02	SITE LAYOUT PLAN OPTION B/IL2
S03	EXISTING FLOOR PLANS AND SECTION OPTION B/IL2
S04	DEMOLITION FLOOR PLANS AND SECTION OPTION B/IL2
S05	PROPOSED FLOOR PLANS AND SECTION OPTION B/IL2
S10	STRUCTURAL DETAILS OPTION B/IL2 - SHEET 1
S11	STRUCTURAL DETAILS OPTION B/IL2 - SHEET 2
S12	SHEAR WALL CONSTRUCTION METHODOLOGY OPTION B/IL2

GENERAL NOTES

- PLANS / DRAWINGS TO BE READ IN CONJUNCTION WITH THE SPECIFICATIONS & DESIGN FEATURES REPORT.
- PROPERTY BOUNDARIES ARE APPROXIMATE ONLY (FROM LINZ). NO BOUNDARY SURVEY HAS BEEN COMPLETED.
- NO SERVICE IDENTIFICATION HAS BEEN UNDERTAKEN IN PREPARATION OF THESE PLANS. ANY SERVICES SHOWN ARE APPROXIMATE ONLY AND CLASHES MAY OCCUR.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO MARK OUT THE LOCATION OF EXISTING SERVICES PRIOR TO COMMENCEMENT OF PHYSICAL WORK ON SITE.
- ALL WORKS TO COMPLY WITH NELSON TASMAN LAND DEVELOPMENT MANUAL (LDM) UNLESS OTHERWISE SHOWN.
- ALL LEVELS IN TERMS OF NZGD 2000 COLLINGWOOD CIRCUIT AND NZVD 2016.
- CONTAINS DATA SOURCED FROM LAND INFORMATION NEW ZEALAND (LINZ). LINZ GIVES NO WARRANTY IN RELATION TO THE DATA (INCLUDING ACCURACY, RELIABILITY, COMPLETENESS OR SUITABILITY) AND ACCEPTS NO LIABILITY (INCLUDING, WITHOUT LIMITATION, LIABILITY IN NEGLIGENCE) FOR ANY LOSS, DAMAGE OR COSTS RELATING TO ANY USE OF THE DATA. CROWN COPYRIGHT RESERVED.

DRAWINGS TO BE READ IN CONJUNCTION WITH DESIGN FEATURES REPORT.

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1:50,000@ A1
1:100,000@ A3

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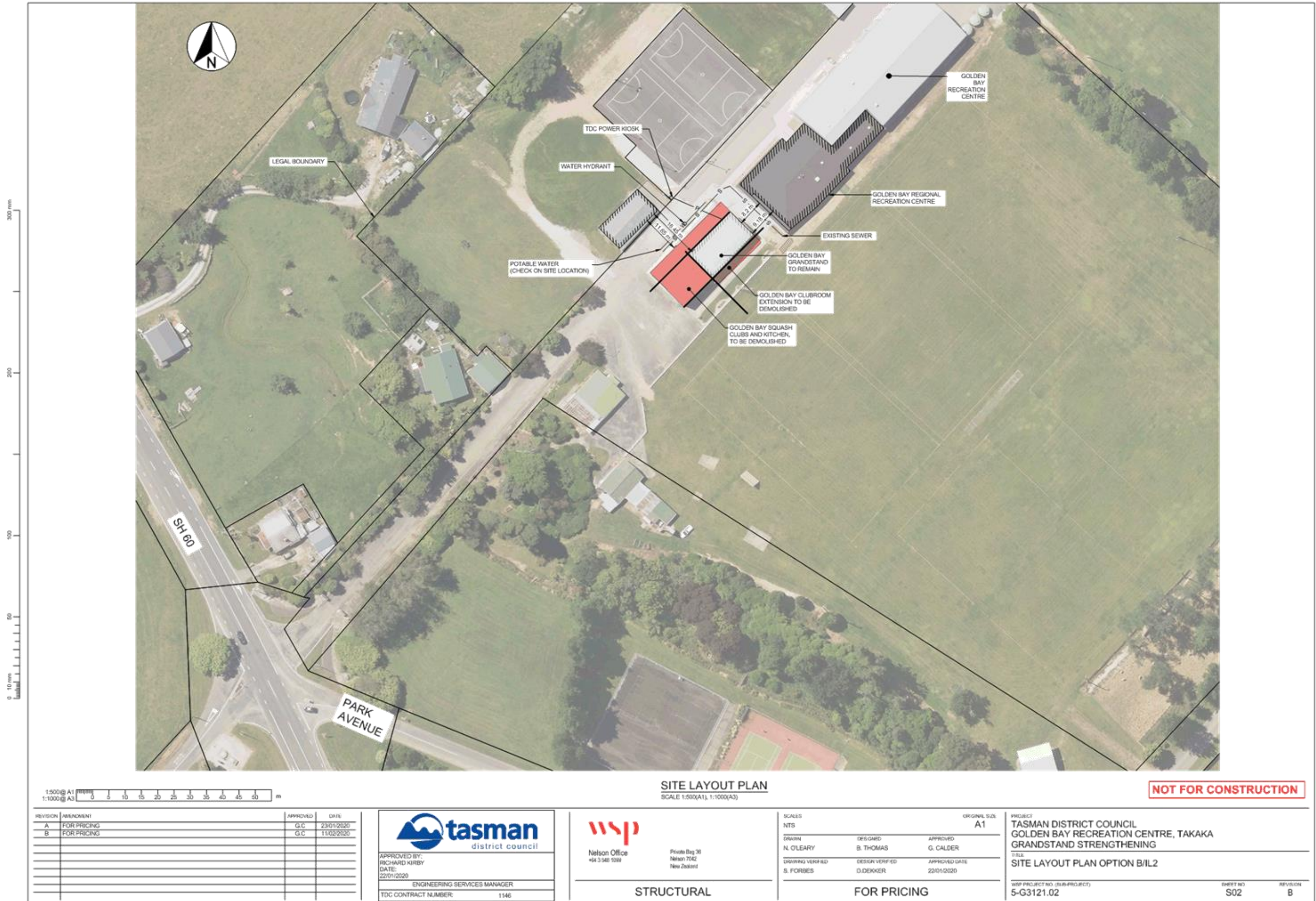
APPROVED BY:
RICHARD KIRBY
DATE:
22/01/2020
ENGINEERING SERVICES MANAGER
TDC CONTRACT NUMBER: 1146

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P.O. Box 30
Nelson 7042
New Zealand
STRUCTURAL

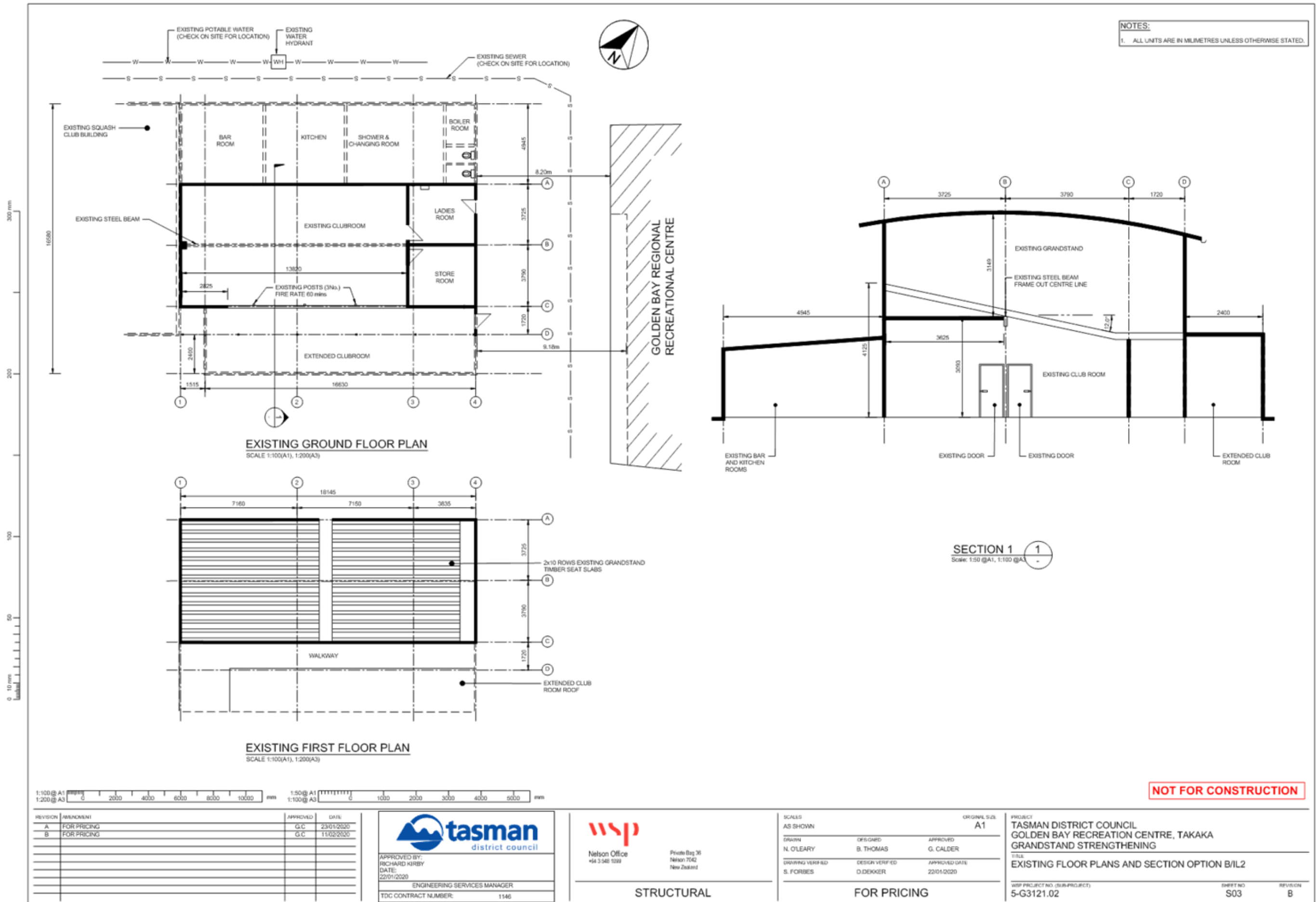
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NTS	B.THOMAS	G.CALDER
DRAWN	S.FORBES	G.CALDER
DRAWING VERIFIED	S.FORBES	APPROVED DATE
	D.DEKKER	22/01/2020

FOR PRICING

PROJECT
TASMAN DISTRICT COUNCIL
GOLDEN BAY RECREATION CENTRE, TAKAKA
GRANDSTAND STRENGTHENING
TITLE
LOCATION PLAN AND DRAWING INDEX OPTION B/IL2
WSP PROJECT NO. (SUA-PROJECT)
5-G3121.02
SHEET NO.
S01
REVISION
B



Original sheet size A1 (841x594) Plot Date 2020-02-11 at 1:22:36 PM G:\projectdata\31005-G3121.02 - TDC Golden Bay Grandstand Strengthening Design\500 Proj Outputs\501 Drawings\5 Structural\5-G3121.02_S02.dwg S02



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tasman
district council

APPROVED BY:
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DATE:
22/01/2020
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TDC CONTRACT NUMBER: 1146

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Private Bag 30
Nelson 7042
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SCALES AS SHOWN			ORIGINAL SIZE
A1			A1
DRAWN	DESIGNED	APPROVED	
N. O'LEARY	B. THOMAS	G. CALDER	
DRAWING VERIFIED	DESIGN VERIFIED	APPROVED DATE	
S. FORBES	D. DEKKER	22/01/2020	

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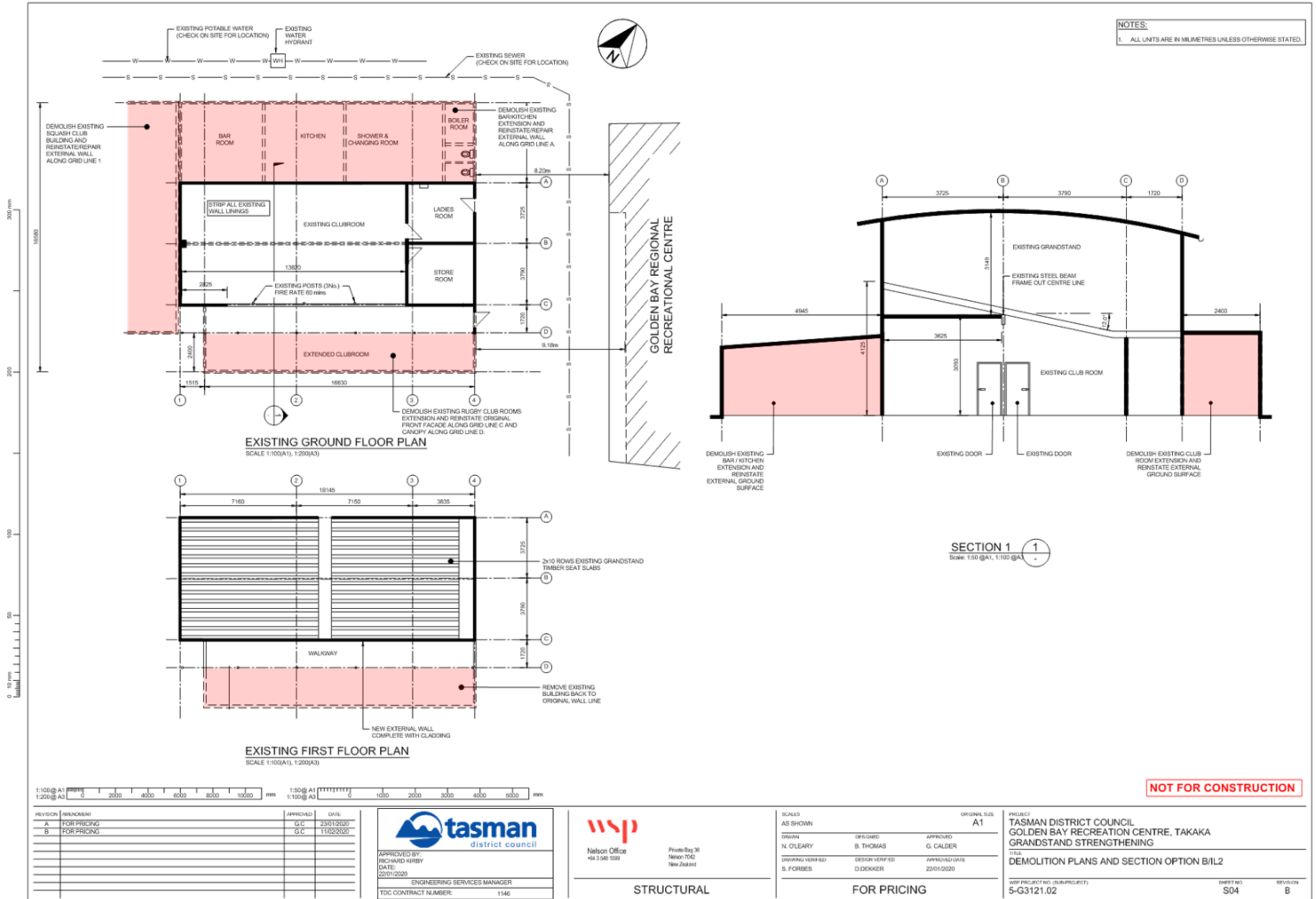
TASMAN DISTRICT COUNCIL
GOLDEN BAY RECREATION CENTRE, TAKAKA
GRANDSTAND STRENGTHENING

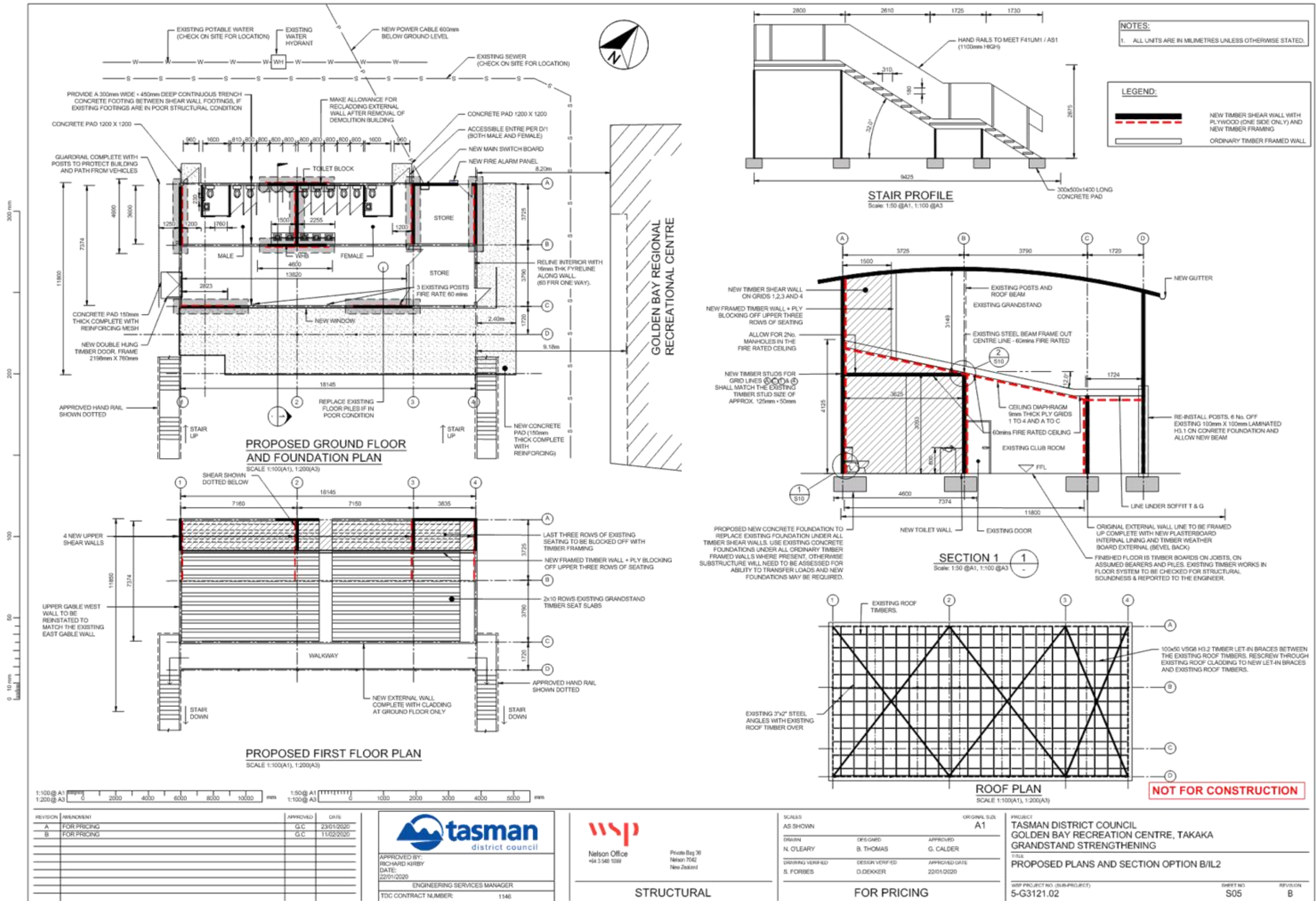
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EXISTING FLOOR PLANS AND SECTION OPTION B/IL2

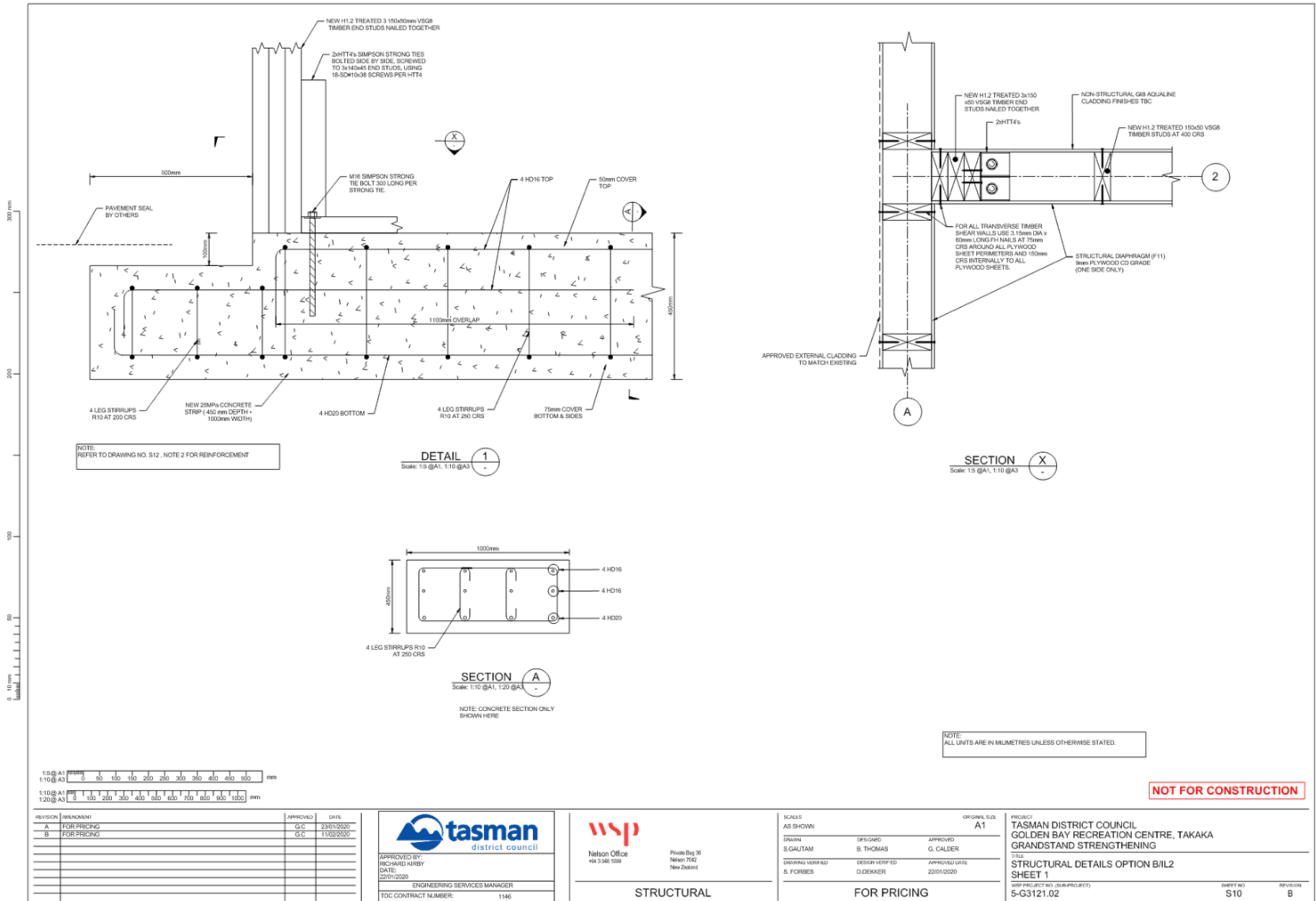
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5-G3121.02

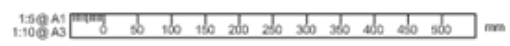
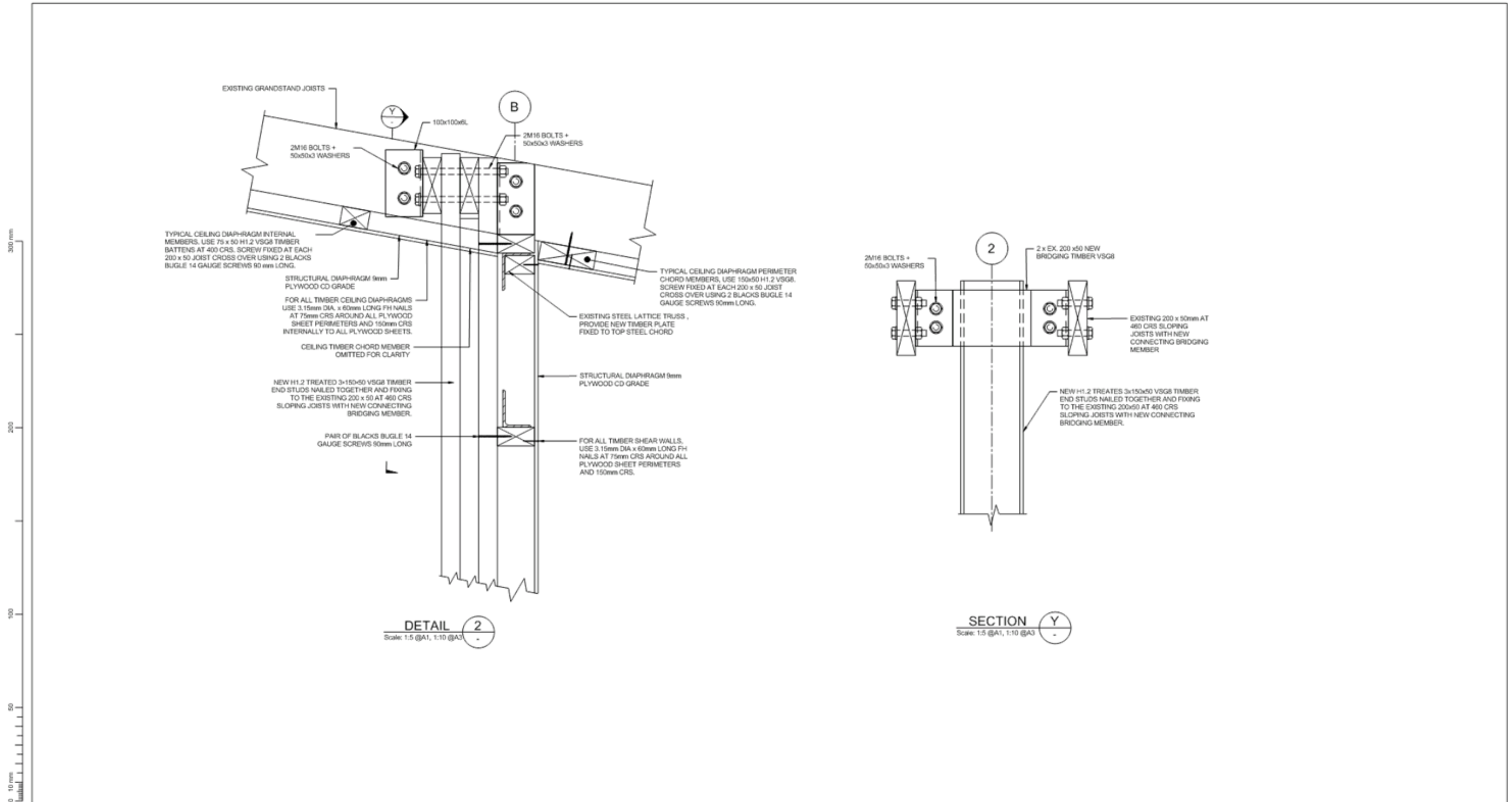
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APPROVED BY:
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SCALES		ORIGINAL SIZE
AS SHOWN		A1
DRAWN	DESIGNED	APPROVED
S.GAUTAM	B. THOMAS	G. CALDER
DRAWING VERIFIED	DESIGN VERIFIED	APPROVED DATE
S. FORBES	D. DEKKER	22/01/2020

FOR PRICING

PROJECT
TASMAN DISTRICT COUNCIL
GOLDEN BAY RECREATION CENTRE, TAKAKA
GRANDSTAND STRENGTHENING

TITLE
STRUCTURAL DETAILS OPTION B/I/L2
SHEET 2

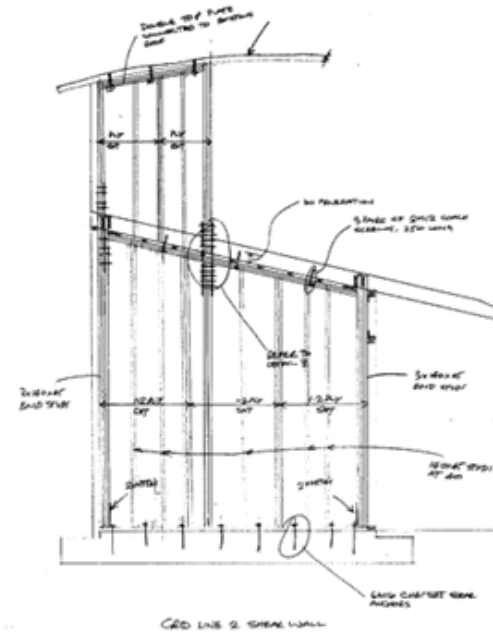
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5-G3121.02

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S11

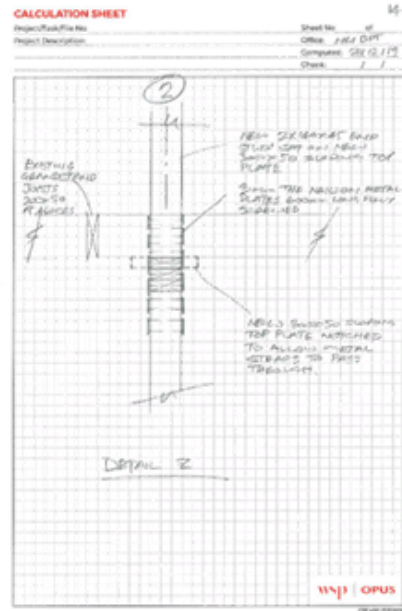
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NOTES

- TIMBER SHEAR WALL HOLDING-DOWN FIXINGS DETAIL A AND B, ON GRID LINES 1, 2, 3 AND 4 TOGETHER WITH GRID LINES A, B AND C.
 - ALL TIMBER STUDS, DWANGS, TOP AND BOTTOM PLATES SHALL BE GRADE VSG8 AND TO BE TREATED TO AT LEAST H1.2 STANDARD.
 - ALL CHEMICAL ANCHORS IN THE CONCRETE SHALL BE IN STRICT ACCORDANCE WITH THE ETAG C2 REQUIREMENTS.
 - ALL PLYWOOD SHALL BE 9mm THICK STRUCTURAL GRADE F11 AND BE CD FINISHED GRADE.
 - USE 2 X HTT4 SIMPSON STRONG-TIES SIDE BY SIDE AND SCREWED TO THE 3 x 140 x 45 TIMBER END STUDS. USE 18-SD#10 x 38 SCREWS AND A 16mm DIAMETER BOLT, PER HTT4 HOLD-DOWN, CHEMICALLY FIXED INTO THE CONCRETE FOUNDATION. SIMPSON STRONG-TIES ARE TO BE FITTED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- TIMBER SHEAR WALL PLYWOOD DIAPHRAGM NAIL FIXING DETAILS. PROVIDE DOUBLE TIMBER STUDS AND DWANGS 2 x 140 x 45 AT ALL PLYWOOD EDGES TO FACILITATE SHEET FIXINGS. ALL DOUBLE TIMBERS TO BE NAIL - LAMINATED.
 - PROVIDE 140 x 45 TIMBER BOTTOM PLATE
 - PROVIDE 300 x 45 TIMBER TOP PLATE, UNDER THE GRANDSTAND SLOPING JOISTS, FOR THE CEILING PLYWOOD DIAPHRAGM TOGETHER WITH 2 x 140 x 45 TOP PLATES DIRECTLY UNDER THE 300 x 45 CEILING TOP PLATE. THE 300 x 45 CEILING TOP PLATE IS TO BE NOTCHED TO ALLOW METAL TIE-DOWN STRAPS TO PASS THROUGH FROM THE UPPER TIMBER SHEAR WALL CHORDS TO THE LOWER TIMBER SHEAR WALL INTERNAL STUDS.
 - PROVIDE AROUND ALL PLYWOOD SHEET PERIMETERS 3.15mm DIAMETER x 60mm LONG FLAT HEAD NAILS AT 75mm CENTRES.
 - AT ALL INTERNAL PLYWOOD FIXINGS USE 3.15mm DIAMETER X 60mm LONG FLAT HEAD NAILS AT 150mm CENTRES.
 - PROVIDE 6M12 COACH SCREWS, IN PAIRS, 250mm LONG BETWEEN THE TIMBER SHEAR WALL TOP PLATE AND THE GRANDSTAND JOISTS.
 - N25MPa CONCRETE FOUNDATIONS - USE 450mm DEEP x 1000mm WIDE x 4600mm LONG. PROVIDE 4HD20 MAIN STEEL BOTTOM 75mm CONCRETE COVER, 4HD16 TOP STEEL 50mm CONCRETE COVER AND R10 (4 LEG) STIRRUPS AT 250mm CENTRES ALONG THE FOUNDATION.
 - SHEAR WALL GENERAL ARRANGEMENT DRAWING.




- TIMBER CEILING PLYWOOD DIAPHRAGM NAIL FIXING DETAILS. THIS DIAPHRAGM EXTENDS BETWEEN GRIDS 1 TO 4 AND A TO C.
 - USE 75 x 50 CEILING BATTENS AT 400mm CENTRES SCREW FIXED AT EACH GRANDSTAND JOIST CROSS-OVER. USE 10G PURLIN SCREWS 100mm LONG AT EACH CROSS-OVER.
 - USE 140 x 45 TIMBER CHORDS AROUND THE PERIMETER OF THE CEILING DIAPHRAGM, SCREW FIXED AT EACH GRANDSTAND JOIST CROSS-OVER. USE 2 x 10G PURLIN SCREWS 100mm LONG AT EACH CROSS-OVER.
 - ALL PLYWOOD SHALL BE 9mm THICK STRUCTURAL GRADE F11 AND BE CD FINISHED GRADE.
 - PROVIDE AROUND ALL PLYWOOD SHEET PERIMETERS 3.15mm DIAMETER x 60mm LONG FLAT HEAD NAILS AT 75mm CENTRES.
 - AT ALL INTERNAL PLYWOOD FIXINGS USE 3.15mm DIAMETER x 60mm LONG FLAT HEAD NAILS AT 150mm CENTRES.
- GRANDSTAND TIMBER STAIRS
 - STRINGERS - USE 300 x 50 VSG8 H3.2
 - POSTS UNDER STRINGERS AT HALF-LANDING - USE 125 x 125 VSG8 H4.
 - N25MPa CONCRETE PADS UNDER POSTS - 300mm DEEP x 500mm x 500mm SQUARE CONCRETE FOUNDATIONS. PROVIDE 3HD16 BOTTOM BOTH-WAYS 75mm CONCRETE COVER ALL-ROUND.
- ALL CONCRETE FOUNDATIONS SIZES AND DETAILS ARE BASED ON "GOOD GROUND" IN ACCORDANCE WITH NZS3604, HAVING AN ULTIMATE BEARING CAPACITY OF 300KPa IN NATURAL GROUND CONDITIONS. THE MAIN CONTRACTOR SHALL ARRANGE FOR A BURIED SERVICES SURVEY TO LOCATE ALL UNDERGROUND SERVICES PRIOR TO THE COMMENCEMENT OF ANY FOUNDATION EXCAVATION WORKS BEING UNDERTAKEN. THE MAIN CONTRACTOR IS TO VERIFY ACTUAL SOIL BEARING CAPACITY AT A MINIMUM OF 4 LOCATIONS AT REGULAR INTERVALS IN THE FOUNDATION EXCAVATION AND REPORT THE RESULTS TO THE ENGINEER PRIOR TO THE PLACEMENT OF ANY FOUNDATION ELEMENTS.
- DURABILITY, WEATHERTIGHTNESS AND COMPLIANCE OF BUILDING ENVELOPE HAS NOT BEEN CONSIDERED AS PART OF THE STRENGTHENING DESIGN.
- ALL EXISTING REDUNDANT OPENINGS IN TIMBER FRAMED WALLS TO BE FILLED IN WITH TIMBER FRAMING AND LININGS TO MATCH SURROUNDING WALLS.



0 10 20 30 40 50 60 70 80 90 100 200 300 mm

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B	FOR PRICING	G.C.	11/02/2020



APPROVED BY:
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DATE:
22/01/2020

ENGINEERING SERVICES MANAGER

TDC CONTRACT NUMBER: 1146



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STRUCTURAL

SCALES		ORIGINAL SIZE
AS SHOWN		A1
DRAWN	DESIGNED	APPROVED
S. GAUTAM	B. THOMAS	G. CALDER
DRAWING VERIFIED	DESIGN VERIFIED	APPROVED DATE
S. FORBES	D. DENKER	22/01/2020

FOR PRICING

PROJECT	
TASMAN DISTRICT COUNCIL GOLDEN BAY RECREATION CENTRE, TAKAKA GRANDSTAND STRENGTHENING	
TITLE	
SHEAR WALL CONSTRUCTION METHODOLOGY OPTION B/IL2	
WSP PROJECT NO. (SUB-PROJECT)	SHEET NO. REVISION
5-G3121.02	S12 B

Appendix B
Golden Bay Grandstand –
Preliminary Fire Report



FIRE DESIGNS
DESIGNING FIRE SAFETY INTO BUILDINGS

GOLDEN BAY GRANDSTAND

Golden Bay Recreation Park
Takaka Valley Highway
SH60
Takaka

Fire Engineering Design

- 07/11/2019 (Issue 01)
- Reference: 1900871

Fire Designs Limited
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P.O. BOX 601
Hamilton, 3240

Ph: 07 855 0032
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<http://firedesigns.co.nz>

◊ Acceptable Solution
Fire Design

◊ Fire Engineering
Design

◊ Building
Inspections

◊ Building
Accessibility

DOCUMENT CONTROL

Issue	Date	Authors	Status / Comments
Issue 1	07/11/2019	AD / PD / PD	

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EXECUTIVE SUMMARY

Fire Designs Limited has been engaged to provide fire engineering design services for the refurbishing at Golden Bay Grandstand at the Takaka Recreation Centre. The fire engineering design documentation details the requirements to the extent required by Section 17 & 112 of the Building Act. The documentation includes assessing existing building features / systems, as required by Section 112 on an 'as nearly as is reasonably practicable (ANARP) basis.

This executive summary details key required works resulting from the fire engineering design documentation. It is the readers' responsibility to ensure that the documentation is reviewed in its entirety to avoid omission of any fire safety requirements detailed in this report.

Matters to be addressed

- **Actual seating layout to be confirmed, considered non-compliant to section 3.7 and deemed a 'Gap' which the stakeholders are to consult on.**

Building use

- Occupant load: 95 in the lounge and 338 on the grandstand seating. Total 433 people.

Fire safety systems

- Fire Alarm: Install a Type 4 throughout the entire building, see section 2.2 for Type 3 substitute.
- Fire alarm panel to be located at the Fire and Emergency New Zealand (FENZ) attendance point and as agreed to by FENZ
- Install Emergency lighting
- Install Illuminated EXIT signs

Means of escape and access into and within the building

- See Part 3 of this report for escape route requirements such as; door widths, door swings, hardware, etc.
- See section 3.7 for Grandstand seating layout and aisle widths. Non-compliant, considered a 'Gap'
- Minimum width of the stairs. Non-compliant, considered a 'Gap'.

Internal fire separations

- The mid floor under the grandstand seating is to be constructed to achieve a 60/60/60 FRR. The supporting elements are also to achieve the same rating.
- Fire stop penetrations in the fire rated mid floor.
- Surface finishes and floor coverings are to compliant with section 4.17.

External fire separations

- No fire rating required in external walls.

Firefighting

- Hardstand access for the attending fire appliance is provided within 20m of the building

Lighting for emergency

- Engage the services of a suitably qualified person to design and install an emergency lighting system to comply with NZBC F6 Visibility in Escape Routes

REGULATORY AND COMPLIANCE FRAMEWORK

The purpose of this report is to demonstrate that following the proposed alterations the building will comply to as nearly as is reasonably practicable with New Zealand Building Code clauses C2 to C6 for Protection from Fire as required by the following provisions of the Building Act 2004 and Amendments.

Section 17: All building work to comply with the building code

All building work must comply with the building code to the extent required by this Act, whether or not a building consent is required in respect of that building work.

Section 112: Alterations to existing buildings

- (1) A building consent authority must not grant a building consent for the alteration of an existing building, or part of an existing building, unless the building consent authority is satisfied that, after the alteration, -
 - (a) the building will comply, as nearly as is reasonably practicable, with the provisions of the building code that relate to -
 - (i) means of escape from fire; and
 - (ii) access and facilities for persons with disabilities (if this is a requirement in terms of section 118); and
 - (b) the building will, -
 - (i) if it complied with the other provisions of the building code immediately before the building work began, continue to comply with those provisions; or
 - (ii) if it did not comply with the other provisions of the building code immediately before the building work began, continue to comply at least to the same extent as it did then comply.
- (2) Despite subsection (1), a territorial authority may, by written notice to the owner of a building, allow the alteration of an existing building, or part of an existing building, without the building complying with provisions of the building code specified by the territorial authority if the territorial authority is satisfied that, -
 - (a) If the building were required to comply with the relevant provisions of the building code, the alteration would not take place; and
 - (b) the alteration will result in improvements to attributes of the building that relate to -
 - (i) means of escape from fire; or
 - (ii) access and facilities for persons with disabilities; and
 - (c) the improvements referred to in paragraph (b) outweigh any detriment that is likely to arise as a result of the building not complying with the relevant provisions of the building code.

This report has not considered the provisions under section 118 of the Building Act.

This report demonstrates compliance with The New Zealand Building Code Fire Safety Clauses by using the following Approved Documents:

- C/AS2 Buildings other than Risk Group SH (First edition, 27 June 2019)
- D1/AS1 Access routes (Amendment 6, 1 January 2017) – for means of escape from fire only
- F6/AS1 Visibility in escape routes (Amendment 4, 1 January 2017)
- F7/AS1 Warning Systems (10 April 2012)
- F8/AS1 Signs (Amendment 4, 1 January 2017)

Sections 75 - 79 of the Fire and Emergency New Zealand Act 2017 will apply to this building due to the number of occupants the building. An evacuation scheme is to be implemented to meet the provisions of the Fire Safety and Evacuation of Buildings Regulations 2018. This is to be discussed directly with Fire and Emergency New Zealand (FENZ).

Matters concerning the storage and use of petroleum products at this site fall under the Hazardous Substances and New Organisms Act (HSNO). This report does not address anything in this regard and it is recommended that the services of a suitably qualified HSNO expert be engaged.

Compliance Schedule

There are specified systems identified in this report that are required to be recorded on a Compliance Schedule. Please refer to FIRE COMPLIANCE SCHEDULE ITEMS on page 18 of this report.

Fire and Emergency New Zealand (FENZ)

In accordance with Section 46(1) of the Building Act 2004 certain applications for Building Consent must be provided to FENZ for review.

- As the building works subject to this report **do not** fit within the criteria under Clause 2 as listed in the DBH Gazette Notice No. 49 effective 7 May 2012; this application is **NOT** required to be forwarded to FENZ.
- Please refer to FIRE AND EMERGENCY NEW ZEALAND on page 19 of this report.

DOCUMENTATION

The fire design issues detailed in this report are the minimum required to satisfy the requirements of the Building Code. Unless specifically stated, this report does not address matters in addition to the Building Act such as owners and / or tenants' property and contents protection. The owner is advised to check the acceptability of the provisions of this report with the property insurer.

This report deals specifically with the requirements of this project and this client. It is not intended for any other purpose or to be used by any other parties.

This report is a performance document intended to be used by the Architects / Designers and other consultants in implementing their detailed design and preparing their working drawings and specifications. The consultants whose documentation is required to incorporate the requirements of this report are expected to have read this report, understood the implications as it affects their scope of work and have incorporated the relevant fire safety requirements, including incorporating a Fire Engineering Design plans into their drawings and specifications.

The following drawings / documentation has been reviewed in the compiling of this fire engineering design report. To ensure that the specific fire safety requirements are clearly identified, it is recommended that "Fire Engineering Design" drawings be included in the building consent submission set.

Author	Title	Sheets	Revision	Date
WSP	Floor Plans	C02	A	30/10/2019

A site visit has not been carried out.

The Condition and Usability Assessment report by WSP / Opus dated 10/01/2019 has been used for reference.

BUILDING / PROJECT SCOPE

Building location

The site is located at Takaka Recreation Park, Takaka Valley Highway, State Highway 60, Takaka

Existing building

The building was designed in approximately 1898 as stated in the WSP / Opus Condition and Usability Assessment report. It was designed as an Importance Level 3 for 352 persons. The building is mainly timber construction with an ablution block and social hall on the ground floor and a roofed grandstand seating area on the upper floor. There is no fire alarm or emergency lighting within the building.

The buildings internal linings have been completely removed so the Earthquake requirements can be calculated.

Building use / risk group

Under Schedule 2 of the Building (Specified Systems, Change of Use, and Earthquake-prone Buildings) Regulations 2005 the building is designed as a CL Building Use.

The applicable Risk Groups are as follows (C/AS2, Table 1.1):

- CA Public use and educational facilities

In accordance with NZBC Clause A3, this building is classified as **Importance Level 3**:

- Buildings of a higher level of societal benefit or importance, or with higher levels of risk-significant factors to building occupants.

Proposed works

The proposal is to earthquake strengthen and totally refurbish the existing building. This report has been written so the building will achieve compliance where possible and practicable. There are a couple of areas that this report has considered a 'Gap'. The Gaps are to be discussed between the stakeholders and the Council to agree on a level of compliance.

BUILDING SCORE SHEET

Guidance for BCAs when requesting information about means of escape from fire for existing buildings.

BUILDING SCORE SHEET			
	Key Factors	Points	Score
Likelihood of existing building complying	Building Age		
	Approved from 1 June 2001 onwards	0	
	Approved between 1 January 1993 and 31 May 2001	1	
	Approved on or before 31 December 1992	3	3
	Information held on the building by the BCA or TA (Score one of these only and choose the most comprehensive assessment)		
	For buildings approved from 1 June 2001: no consents made	0	
	Full building assessment on file dated 1 June 2001 or later	2	
	Full building assessment on file dated on or before 31 May 2001	4	
	One or more partial building assessments on file	6	
	No assessment on file for building additions or alterations	8	
Unable to determine history of building	8	8	
Extent of proposed work	Extent of the proposed building work		
	Minor	0	
	Moderate	3	
Potential consequences of not complying	Significant	6	6
	Building importance level		
	Level 1	0	
	Level 2	4	
	Level 3	8	8
	Level 4 and Level 5	12	
	Additional points for building Level 1, 2 or 3 with sleeping facilities	4	
TOTAL SCORE TO USE WITH TABLE 1			25

SECTION 112 ASSESSMENT

Where compliance with the requirements of the Building Act for alterations is not fully demonstrated through using this Acceptable Solution, the level of assessment required shall be agreed with the building consent authority or territorial authority.

To assist the relevant authority, we have referred to “Guidance requesting information about means of escape from fire for existing buildings” ¹Dec 2013.

As this report determined the **building score at 25**, which is more than the score of 20, we have compiled this report as a ‘full assessment of the buildings means of escape using the Acceptable Solution, C/AS2 to identify and quantify any gaps between the features and systems required to comply with Building Code requirements for means of escape from fire and those in the existing building’. The below list are the ‘Gap’s and or proposed works to help the building comply to As Nearly as is Reasonably Practicable’.

Fire safety systems (Part 2)

Clause	Code Compliance	Existing Building	Comments
2.2	Type 4	None	Install a Type 4 throughout the entire building.

Means of escape (Part 3)

Clause	Code Compliance	Existing Building	Comments
3.3	Width of escape paths	Non-compliant	Stair width is non-compliant. ‘Gap’.
3.7	Aisle width required for bench seating layout	Existing, considered non-compliant	Considered ‘Gap’
3.16	All escape routes to have signs complying with NZBC F8.	None, removed for refurbishment	Install illuminated signs to be compliant to NZBC F8.

Control of internal fire and smoke spread (Part 4)

Clause	Code Compliance	Existing Building	Comments
4.1	Firecells are to be fire separated from one another by the life rating being 60 minutes	None, removed for refurbishment	Install 60/60/60 FRR as detailed in Part 4 and fire plans.
4.3	Additional loads caused by fire as required by NZBC B1	Unknown	Structural Engineer to provided.
4.4	Fire stop penetrations	Unknown	Fire stop all penetrations in fire rated elements
4.17	Surface finishes and floor coverings	Unknown	All new products to comply.

¹ Ministry of Business, Innovation & Employment. December 2013, Version 1

Firefighting (Part 6)

Clause	Code Compliance	Existing Building	Comments
6.2	Fire alarm panel location	None	Agreement by FENZ

Visibility in escape routes (F6/AS1)

Clause	Code Compliance	Existing Building	Comments
F6	Emergency lighting	None	Design and install throughout the building.

PART 1 GENERAL

1.4 Calculating occupant loads

Table 1.2 Occupant densities

Activity	Area (m ²)	m ² / person	Occ. Load	Total
Ground floor hall	104	1.1	95	
Grandstand seating at 15.2m length X 10 ¹	Bench seating	0.45	338	433

Note:

- The actual seating layout is different as to what is shown in the plan attached. I have taken the seating as 15.2 m total length x ten rows of seating. The aisles are assessed at 1000mm wide. These measurements need to be confirmed by the client / architect for actual occupant load.

PART 2 FIRECELLS, FIRE SAFETY SYSTEMS & FIRE RESISTANCE RATINGS

2.2 Fire safety systems

Table 2.2 Fire safety systems

Activity	CA
Escape height	<4.0m
Occupant load	433 People
Alarm type	See note ¹
Other precautions	See note ²

Notes:

1. **Fire alarm system**

- Due to the occupant load install a **Type 4** automatic fire alarm system throughout the entire building. Where the environment is challenging for a Type 4 smoke detection system, install a **Type 3** automatic fire alarm system with smoke detection only where suitable throughout the entire building, to 4512:2010 and be certified as a compliant system by an accredited inspection body (NZS 4512:2010: 107.1(e)).
- The fire alarm indicator panel shall be in a position close to the FENZ attendance point (C/AS2: 6.2.1). The location of the panel is to be by agreement with FENZ.
 - Install encapsulated heat detectors in locations where nuisance alarms may occur due to moisture and / or condensation.
 - The smoke detection system shall automatically turn off all air-conditioning and mechanical ventilation plants which are not required for fire safety.
 - A direct connection to FENZ is required.
 - This will also satisfy the requirements of the Fire Safety and Evacuation of Buildings Regulations 2018 as an evacuation warning signal.

2. **Fire hydrant system (Type 18)**

A fire hydrant system is not required as the hose run distance from a parked appliance is < 75m.

2.3 Fire resistance ratings (FRR)

Life Rating = 60 minutes

Property Rating = 120 minutes

Applies to this building consent

Does not apply to this building consent

PART 3 MEANS OF ESCAPE

3.2 Number of escape routes

Two means of escape are provided from the ground floor hall area via:

- The double door sets at each end of the area.

Two means of escape are provided from the Grandstand seating area via:

- The external stairs at each end.

A single means of escape is provided from the ablution areas direct to the outside.

3.3 Height and width of escape routes

Height requirements for escape routes are to be:

- 2100mm across the full width.
- Isolated ceiling fittings not exceeding 200mm diameter shall not project downwards > 100mm.
- Doors into or within an escape route shall have a minimum clear height of 1955mm.

The Grandstand seating area is calculated to have 338 people. There are two sets of external stairs.

Should the largest stair become unusable due to location of fire the other stair would have to be a minimum of 3042mm wide.

- *The stairs proposed are not that wide and considered non-compliant to C/AS2. This is deemed a 'Gap' so the stakeholders are to consult as to a solution. It may be worth exploring the use of the 'Guide to Safety at Sports Grounds (Green Guide)' to access the number of people permitted to use the stairs. If this is acceptable the design would be considered as outside the limitations of C/AS2.*

Escape routes not on an accessible route and used by ≥ 50 people, the escape routes must have a minimum width of 850mm for horizontal travel and 1000mm for vertical travel.

Escape routes not on an accessible route and used by < 50 people, the escape routes must have a minimum width of 700mm for horizontal travel.



Escape routes on an accessible route must have a minimum width of 1200 mm for horizontal travel and 1100 mm for vertical travel, including no less than 900 mm between continuous handrails each side of the vertical travel.



Doors subdividing accessible routes of travel are to be no less than 760mm clear open width.



A maximum 20 mm threshold weather stop is permitted on external doors subdividing escape routes (NZBC D1/AS1).



The two new stairways are to be designed as Accessible stairs.

	Accessible Stair
Pitch (maximum)	32°
Riser (maximum)	180mm
Tread (minimum)	310mm
Fitted with closed risers	Yes
Contrasting nosing's	Yes
Minimum width between handrails	900mm
Minimum width of stair	1100mm
Handrails	Both sides
Handrails extend 300mm horizontally past the top and bottom step	Yes
Landing not higher than	2.5m from FFL
Landing Length (minimum)	900mm

3.4 Length of escape routes

Table 3.2 Travel distances on escape routes

Area	Risk Group	Dead End Open Path ¹		Total Open Path ¹	
		Permitted	Actual ²	Permitted	Actual ²
Changing rooms	CA	40	10	100	n/a
Lounge	CA	40	7	100	25
Grandstand	CA	40	16	100	32

Notes:

- The lengths of the escape routes are shown in metres with the permitted increase where a Type 4 fire alarm system is installed.
- The distances of travel are the worst case from each area to a safe place outside.

3.7 Special cases of open paths

Table 3.3 Walkways in fixed seating

Minimum walkway width (mm)	Maximum number of seats in any row	
	One aisle	Aisles both sides
300	7	14
340	9	16
380	9	18
420	10	20
460	11	22
500	12	24

3.7.4 Fixed seating

Includes seating that is moveable or foldaway, shall be arranged so that:

- Direct access to the aisles is available
- The number of seats in a row is no greater than that specified in Table 3.3
- The clear walkway width between rows is no less than that specified in Table 3.3, and

The area occupied by each seat plus the walkway in front of it has a total dimension of at least 760mm from seat back to seat back measured horizontally at right angles to the rows of seats. The seat width must be at least:

- 500mm where arms are provided, and
- 450mm where arms are not provided

3.7.7 Aisles

Aisles serving fixed or loose seating shall provide access to final exits or escape routes. The width of the final exits or escape routes shall be the greater of the:

- a) Aisle width as required by Paragraph 3.7.8, or
- b) Width required by Paragraph 3.3.2

3.7.8 Aisle widths shall be no less than:

- a) 750mm when serving up to 60 seats
- b) 900mm when serving over 60 seats on one side only, or
- c) 1100mm in all other cases

The minimum width shall occur at:

- a) If discharge is in one direction only, the point furthest from the exit door in aisles, or
- b) If discharge is in two directions, the mid-length of an aisle to separate cross aisles or to separate exit doors

There is nothing to prevent an aisle being made wider than the minimum required.

However, to avoid restrictions, this shall be done only in the direction of travel.

3.7.9 Each cross-aisle shall have a width of no less than that of the widest aisle it serves plus 50% of the sum of the widths of all other aisles served.

3.7.10 The travel distance from any seat to a final exit or Exitway shall be no greater than allowed for an open path in Table 3.2. If there are sloping ceilings and floors, refer to Paragraph 3.4.5 for further restrictions.

- *As the actual existing bench seating measurements and layout are not shown on the plans supplied cannot confirm if the Grandstand area is compliant or non-compliant and as the building is a Heritage building the redesigning of the Grandstand seating is against its heritage significance. This is identified as a 'Gap' It may be worth exploring the use of the 'Guide to Safety at Sports Grounds (Green Guide)'.*

3.11 External escape routes

The exit from the Grandstand seating area is acceptable as it is considered an open area and there is a choice of two different directions of escape.

3.15 Doors subdividing escape routes

On the doors subdividing accessible routes of travel the unlocking and opening motion is to be a single lever or push / pull action (D1/AS1 paragraph 7.0)

All other doors subdividing escape routes are to be fitted with simple fastenings that can be readily operated from the direction of escape and are not capable of being locked from the inside with a key or other security device preventing escape.

Doors subdividing escape routes capable of being used by > 50 people are to swing in the direction of escape.

Doors subdividing escape routes capable of being used by ≤ 50 people may swing in either direction.

Manual sliding doors are only permitted for use by < 20 people.

3.16 Signs

All escape routes shall have signs complying with NZBC F8/AS1.

Install illuminated EXIT signs to cover the escape routes and over the final exit doors.

Design and installation of the illuminated signs is to be in accordance with AS 2293.1:2018.

Exit signs to be sized to comply with 16, 24 or 32m viewing distances (F8/AS1, Table 4 & 5).

Indicative location of EXIT signs are shown on the attached Fire Plans. These do not consider possible obscuration due to partitioning, furniture or fittings and therefore should not be assumed to depict all required signage.

PART 4 CONTROL OF INTERNAL FIRE & SMOKE SPREAD

4.1 Firecells

The building is designed as two firecells, the ground floor and the open grandstand seating area.

The firecell separation, (Life Ratings) are to achieve a minimum of 60/60/60 FRR.

4.3 Internal structural stability during fire

Primary elements located entirely within a firecell and providing support to fire separations required to be fire rated shall provide sufficient structural stability to avoid premature failure under design dead loads, design live loads and any additional load caused by fire.

Engineers calculations may be required to verify that the walls required to provide a fire rating are designed for stability under fire conditions for a minimum of **60 minutes**.

The design dead and live loads and additional loads caused by fire as required by NZBC B1 are to be provided by a Structural Engineer.

4.4 Fire stopping

All penetrations are to comply with the following:

- Passive firestopping of all penetrations into fire rated wall, floor, ceilings are to use a material that has been tested to AS1530.4:2005 or AS4072.1:2005 as fit for purpose with the substrate. The passive fire protection is to achieve the equivalent integrity and insulation values of the fire rated element.
- Ventilation ducts penetrating fire rated walls and ceilings are to be fitted with approved fire rated dampers or equivalent appropriate passive fire material to the opening to achieve the minimum required FRR.
- A fire stop for a penetration is not required to have an insulation rating if means are provided to keep combustible materials at 300mm away from the penetration and the fire stop to prevent ignition.
- All passive fire penetrations are to be identified with an individual label that is permanently fixed on or adjacent to the penetration, identifying the system. The label shall contain the Fire Resistance Rating, date of installation, product used, installers name and company details. A register of all penetrations with plans identifying the penetration locations is to be kept by the building owner and able to be accessed by the IQP. Any fire stopping system that requires regular testing is to be highlighted.

Notes:

1. There has been very limited testing of fire stopping products over the wide range of construction materials available. Please check that the substrate / construction method you are using has been tested for the fire stopping / passive fire project that is proposed for the penetration.

2. It has been identified that fire stopping of penetrations in plasterboard ceilings of < 26mm thick is a concern. Please check with a specialist passive fire applicator or direct with passive fire suppliers for a product that is fit for purpose.
3. We recommend coordinating with a passive fire professional to identify passive fire products suitable for the proposed construction substrates and penetrations as non-tested systems cannot be included in a PS3 or PS4.
4. We recommend engaging a specialist applicator to apply the fire stopping to the penetrations.

4.5 Firecell construction

4.5.5 Junctions of fire separations

Where fire separations meet other fire separations or fire rated parts of external walls, they shall either be bonded together or have the junction fire stopped over its full length. The external cladding cavity gap should be fire stopped in line with the horizontal or vertical fire separations.

4.5.6 FRR of Junctions

Where one fire separation is a wall and the other a floor, the wall / floor junction shall be constructed with the FRR required for the higher rated element.

4.5.7 Junction with roof

Vertical fire separations and external walls shall terminate as close as possible to the external roof cladding and primary elements providing roof support, with any gaps fully fire stopped to the minimum specified FRR.

4.13 Floors

4.13.1 Full Floors

The underside of the grandstand seating is considered the mid floor fire separation, the mid floor and supporting elements are to achieve no less than a 60/60/60 FRR.

Steel posts / beams supporting fire rated elements (floor, walls and ceilings), are to be encased in fire rated materials to the material suppliers' specifications or coated with intumescent paint.

4.15 Concealed spaces

The spread of fire in concealed spaces and cavities shall be avoided by ensuring that extensive voids do not pass from one firecell to another and by blocking off smaller voids with cavity barriers, or where appropriate, by using fire stops as per part 4.4.

4.15.3 Any concealed space which may be a path for fire spread within internal walls or floors which are fire separations, or within external walls, shall have cavity barriers or be fire stopped at all common junctions, as per part 4.4.

4.17 Interior surface finishes, floor coverings and suspended flexible fabrics

4.17.1 Surface finishes for walls and ceilings

All new surface finishes are to comply with the group numbers prescribed below (G/N stated or lower).

Table 4.3 & 4.4 Surface finishes

Space	Surface ¹	Group No ²
Public / crowd areas – Lounge and grandstand	Wall & ceiling linings	2S ³
All other occupied spaces – Changing room	Wall & ceiling linings	3

Notes:

1. Where timber wall and or ceiling linings are used, take care to ensure the surface coating meets the above requirements, as generally paint and standard clear finishes do not comply to < G3.
2. Produce group numbers shall be confirmed via material data sheets submitted as part of the building consent information.

4.17.4 Flooring

All new floor coverings are to comply with the critical radiant flux rating as prescribed below (C.R.F as stated or greater).

Table 4.5 Critical radiant flux requirements for flooring

Space	Minimum Critical Radiant Flux ¹
Firecells accommodating > 50 people	≥ 2.2kW/m ²

Note:

1. Shall be confirmed via material data sheets submitted as part of the building consent information.

4.17.6 Exceptions to surface finish requirements

Surface finish requirements do not apply to:

- a) Small areas of non-conforming product within a firecell with a total aggregate surface area not > 5.0m²
- b) Electrical switches, outlets, cover plates and similar small discontinuous areas
- c) Pipes and cables used to distribute power or services
- d) Handrails and general decorative trim of any material such as architraves, skirtings and window components, including reveals, provided these do not exceed 5% of the surface area of the wall or ceiling they are part of
- e) Damp-proof courses, seals, caulking, flashings, thermal breaks and ground moisture barriers
- f) Timber joinery and structural timber building elements constructed from solid wood, glulam or laminated veneer lumber. This includes heavy timber columns, beams, portals and shear walls not more than 3.0m wide, but does not include exposed timber panels or permanent formwork on the underside of floor / ceiling systems
- g) Individual doorsets
- h) Continuous areas of permanently installed openable wall partitions having a surface area of not more than 25% of the divided room floor area or 5.0m², whichever is less,

4.17.8 Suspended flexible fabrics

When tested to AS 1530 Part 2:

- Suspended flexible fabrics shall have a flammability index of no greater than 12.
- When used as underlay to roofing or exterior cladding that is exposed to view the flammability index shall be no greater than 5.

PART 5 CONTROL OF EXTERNAL FIRE SPREAD

5.3 FRRs of external walls

The existing building is located in the Golden Bay Recreation Park and is greater than 16.0m from a relevant boundary. No fire ratings require to external walls.

5.8 Exterior surface finishes

Walls > 1m from boundary & < 10m building height

The requirements for exterior surface finishes do not apply as the proposed external walls are > 1m from the boundary and < 10m in height.

PART 6 FIREFIGHTING

6.1 FENZ vehicular access

Fire appliance access is provided to within 20m of the front of the building for firefighting purposes.

6.2 Information for firefighters

6.2.1 The fire alarm indicator panel shall be in a position close to the FENZ attendance point. The location of the panel is to be by agreement with FENZ.

PART 7 PREVENTION OF FIRE OCCURRING

7.4 Downlights

Recessed luminaires shall be installed with clearances from building elements (including insulation) of 100mm.

F6 / AS1 VISIBILITY IN ESCAPE ROUTES

Lighting for emergency

Due to occupant load, stairs and travel lengths, engage the services of a suitably qualified person to design and install an emergency lighting system to comply with NZBC F6 Visibility in Escape Routes.

CONSTRUCTION MONITORING

We have reviewed the requirements for construction monitoring. Construction monitoring ensures that the building work is correctly interpreted and implemented in accordance with the design documentation.

Documentation to be provided by the contractors relating to the fire design includes:

- Exit signage, emergency lighting: Producer Statement PS3 Construction Electrical
- Installation of the fire alarm system: Producer Statement PS3 Fire Protection
- Fire alarm system certification from an approved third party (i.e. FPIS, AON, BFS)
- Fire stopping: Producer Statement PS3 Construction

Fire Designs Limited is not currently engaged to carry out fire engineering construction monitoring of the proposed works.

FIRE COMPLIANCE SCHEDULE ITEMS

As there are Specified Systems in the building, compliance schedule details are required to be supplied to Council as part of the building consent application. It is the responsibility of the person lodging the building consent to complete the relevant Council forms relating to Specified Systems.

Fire Designs Limited has provided information below to assist in the completing of the relevant Council forms. The information below only covers Specified Systems that are affected by this Fire Engineering Design. This information is superseded by the completed Council forms. If assistance is required in completing the relevant Council forms, please contact the system provider or IQP.

SS	Specified System	Maintenance / Inspections	Frequency	Status
2	Automatic or manual emergency warning systems for fire or other dangers Type: 4 Standard: NZS 4512:2010 Location: Throughout the entire building.	NZS 4512:2010	Monthly and annual inspections by IQP	New
4	Emergency lighting systems including Illuminated EXIT signage Standard: AS/NZS 2293:2018, Location: Throughout the entire building	AS/NZS 2293:2018	Six monthly and annual inspections by IQP	New
14/2	Signs relating to specified systems Type: Manual call point signs Standard: Acceptable solution F8/AS1 Location: As per alarm installer plans	Compliance schedule handbook 2007 as amended 2014	Monthly inspections by owner or IQP Annual inspections by IQP	New
15/2	Final exits Type: doors and escape routes Standard: Acceptable solution C/AS2 2019 Part 3 Location: Refer to Fire Plans	Compliance schedule handbook 2007 as amended 2014	Daily inspections by owner Annual inspections by IQP	New
15/3	Fire separations Type: Mid floor and supports Standard: AS 1530.4:2005 Location: Refer to Fire Plans	Compliance schedule handbook 2007 as amended 2014	Monthly inspections by owner or IQP 6 monthly inspections by IQP	New
15/4	Signs for communicating information intended to facilitate evacuation Type: EXIT Standard: Acceptable solution F8/AS1 Location: Refer to Fire Plans	Compliance schedule handbook 2007 as amended 2014	Monthly inspections by owner or IQP Annual inspections by IQP	New

FIRE AND EMERGENCY NEW ZEALAND

In accordance with Section 46(1) of the Building Act 2004 certain applications for Building Consent must be provided to Fire and Emergency NZ for review.

1	Section 75 of Fire and Emergency New Zealand Act 2017	Yes	No
	1(a) 100 or more people present?	✓	
	1(b) Employment facilities for > 10 people?		✓
	1(c) Accommodation for > 5 people?		✓
	1(d) Storage or processing of hazardous materials?		✓
	1(e) Early childcare facilities?		✓
	1(f) Nursing, medical or geriatric care provided?		✓
	1(g) Specialised care for people with disabilities?		✓
	1(h) Accommodation for people in lawful detention?		✓
	Evacuation Scheme required in terms of FENZ Act (Section 1 triggered)		Yes
2	Building Act 2004	Yes	No
	(a) Compliance by means <u>other than</u> clauses		
	(i) C1 – C6		✓
	(ii) D1/AS1		✓
	(iii) F6/AS1		✓
	(iv) F8/AS1		✓
	Section (a) triggered?		No
	(b) Modification or waiver of clauses		
	(i) C1 – C6		✓
	(ii) D1/AS1		✓
	(iii) F6/AS1		✓
	(iv) F8/AS1		✓
	Section (b) triggered?		No
	(c) Fire safety system affected (except minor)		✓
	Section (c) triggered?		No
	Section 46 Building Act triggered?		No
DBH Gazette Notice No 49 dated 3 May 2012			
	Are there at least two triggers (must include Section 1)		No
	Is the Building Consent Authority required to forward a copy of this application to FENZ for comment on matters relating to <i>means of escape from fire, and the requirements for firefighting?</i>		No

APPENDIX A: FIRE PLAN(S)

Fire Engineering plan(s)



SITE LAYOUT
SCALE 1:500(A1), 1:1000(A3)

ISSUED FOR INFORMATION

PCD FIRE DESIGNS
DESIGNING FIRE SAFETY INTO BUILDINGS

These drawings support the fire design and are to be read in conjunction with the fire report. They do not show all of the required fire safety systems & features and are not construction drawings.

Reference Number: 1900871 Date: 07/11/2019

Title: Means of Escape and Fire Plan

PLEASE PRINT IN COLOUR PLEASE PRINT IN COLOUR

Revision	Description	Approved	Revision Date
A	ISSUED FOR INFORMATION	G.C.	5-11-2019



wsp
Nelson Office
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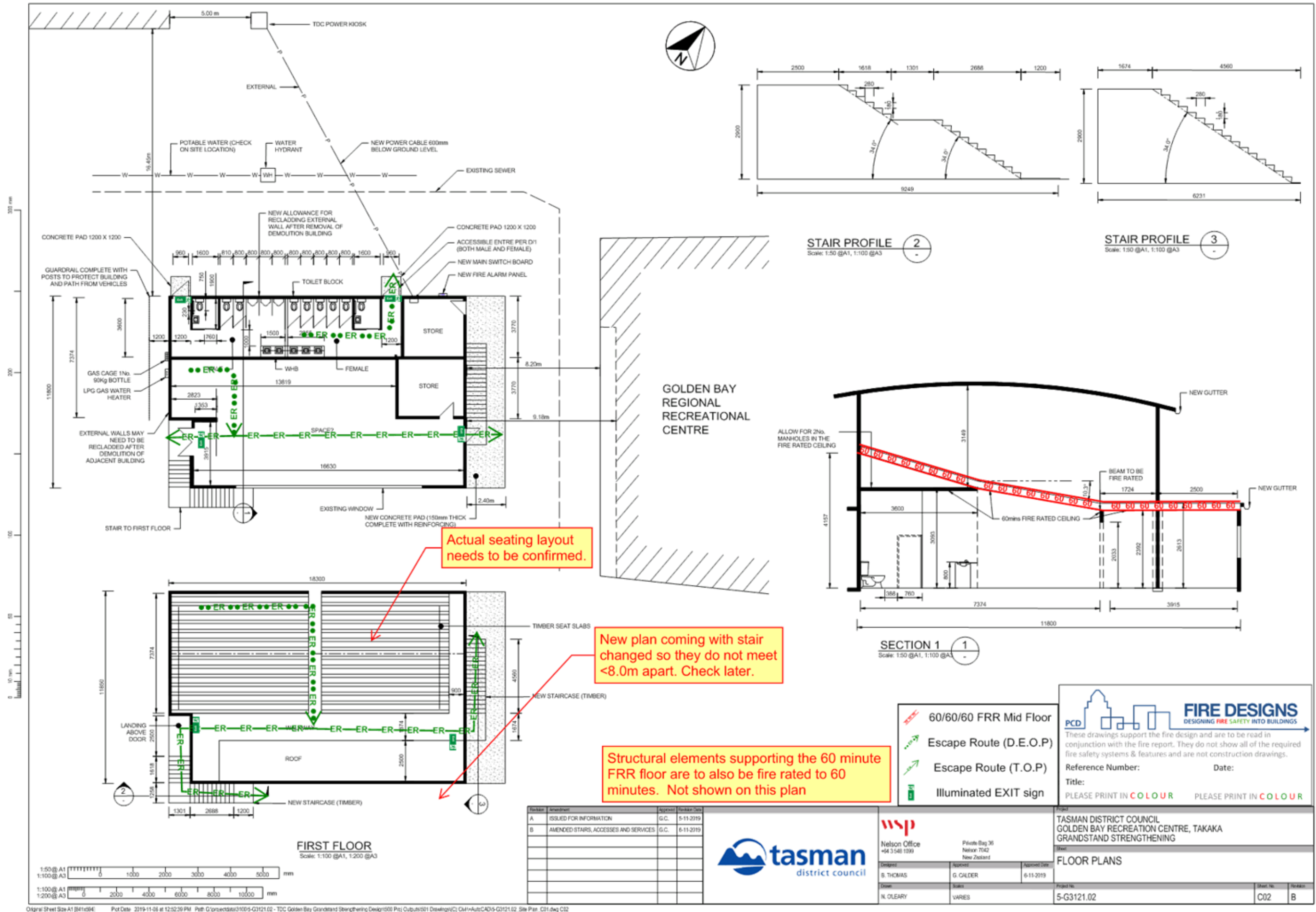
Private Bag 35
Nelson 7142
New Zealand

Designer: B. THOMAS
Approver: G. CALDER
Approved Date: 5-11-2019

Project		TASMAN DISTRICT COUNCIL GOLDEN BAY RECREATION CENTRE, TAKAKA GRANDSTAND STRENGTHENING
Title		SITE PLAN
Project No.	Sheet No.	Revision
5-G3121.02	C01	A

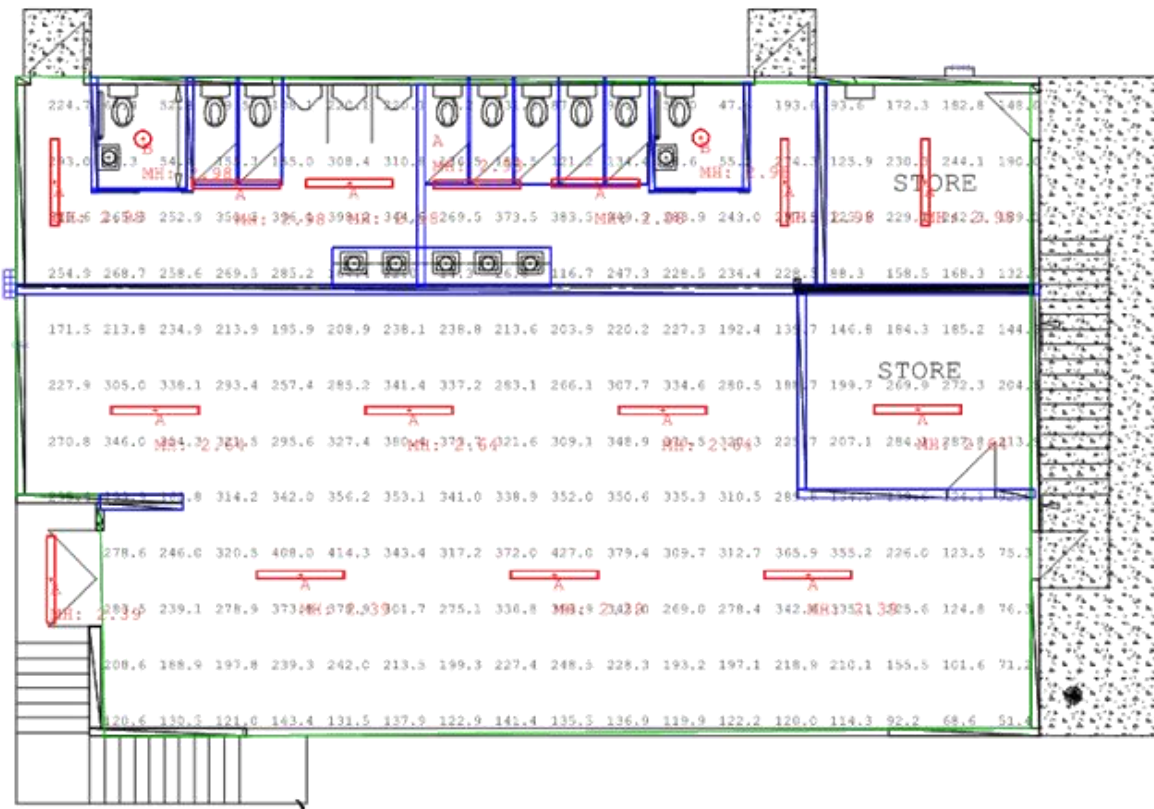
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1:1000 @ A3

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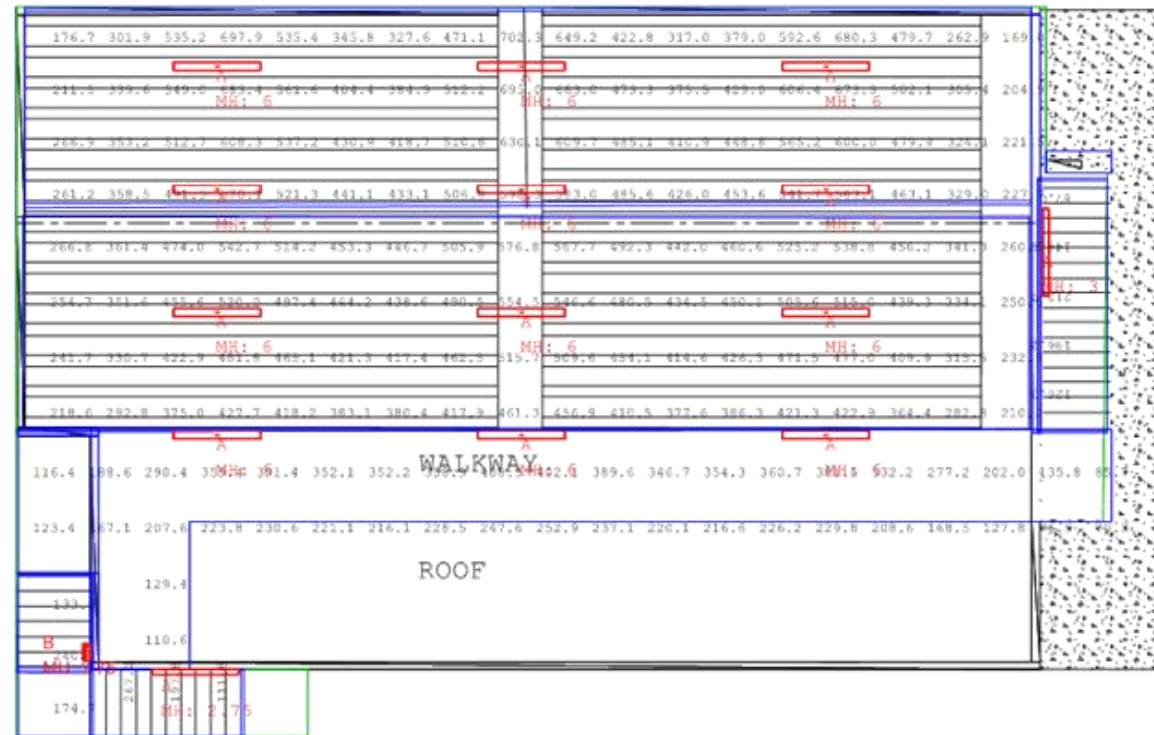
Appendix C Golden Bay Grandstand

(Electrical & Emergency Light draft design)



Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
	29	A	SINGLE	7867	0.800	VSLW571005Z
	3	B	SINGLE	1150	0.800	FHBL947-160-OP

Calculation Summary					
Label	CalcType	Units	Avg	Max	Min
Flat Walkway Top	Illuminance	Lux	243.96	408.5	70.3
Grandstand Lower Area Top_1	Illuminance	Lux	421.78	576.8	210.2
Grandstand Upper Area Top_1	Illuminance	Lux	462.36	702.3	169.0
Ground Floor Floor	Illuminance	Lux	227.88	427.0	14.3
LS Bottom Flight Top_1	Illuminance	Lux	192.27	267.2	111.8
LS Mid Landing Top_1	Illuminance	Lux	174.70	174.7	174.7
LS Top Flight Top_1	Illuminance	Lux	186.50	240.0	133.0
Right Side Stairs Top_1	Illuminance	Lux	153.32	212.7	87.0



A - Eaton Versalite Under Verandah



B - Fern Howard LED Bulkhead IK10

Client
WSP / TDC Grandstand

Page 1 of 1

TD1920 - TDC Grandstand Gen Lighting Layouts.AGI

Drawn By: **Wayne Hobcraft**

Checked By:

Turama Design
Wellington
New Zealand
email: turamadesign@outlook.com

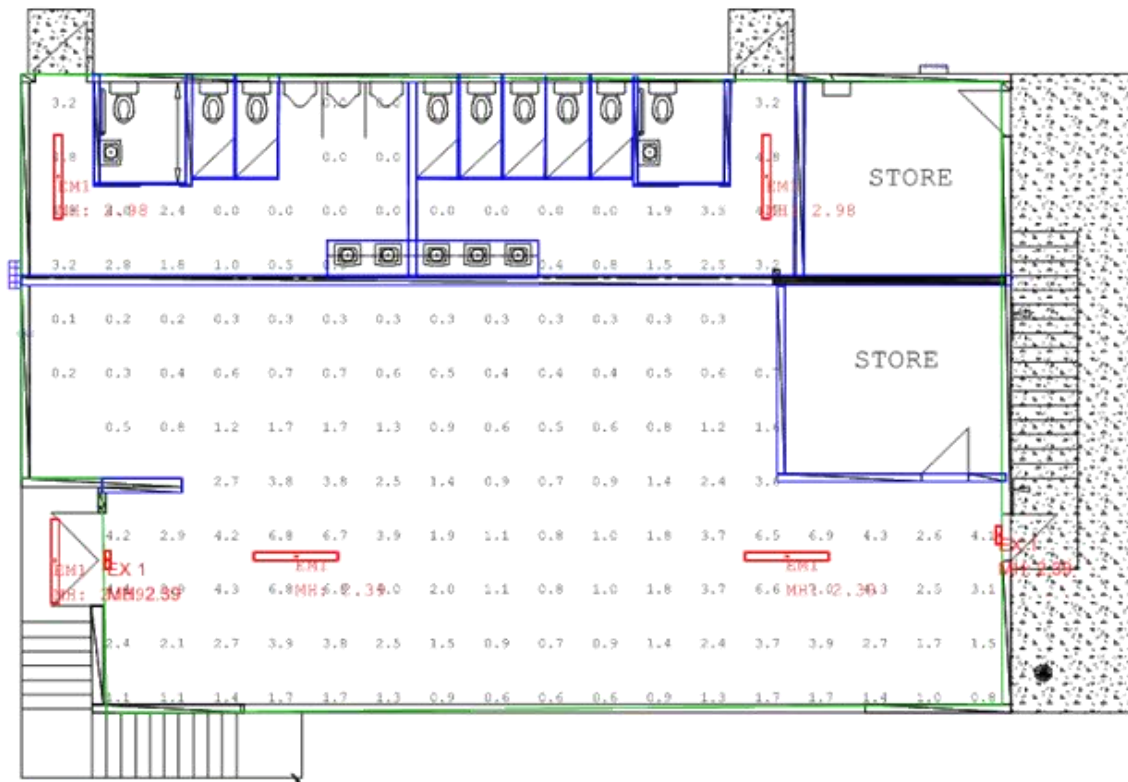


#	Date	Drawing Number
0	10-11-2019	General Lighting layout

Revisions

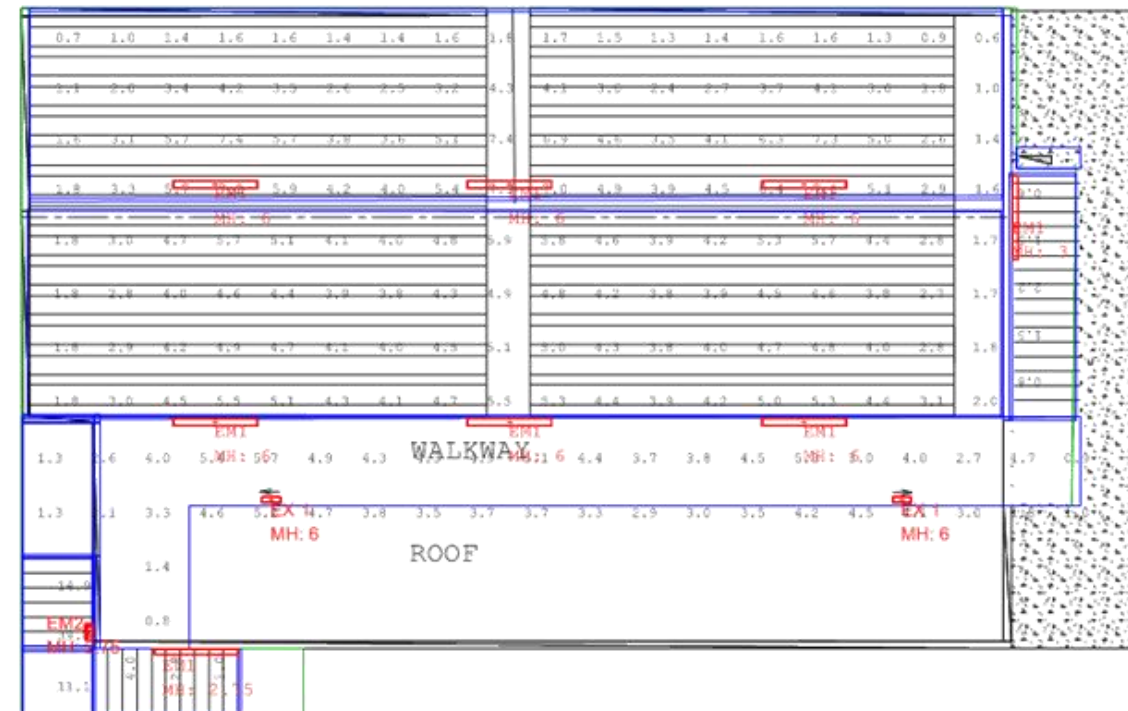
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Turama - (verb) (-tia) to light with a torch, give light to, illuminate.



Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
	13	EM1	SINGLE	193	0.800	EMLVSLW571005Z
	1	EM2	SINGLE	300	0.800	FHBL947-160-OP-EM
	4	EX 1	SINGLE	N.A.	0.750	Eaton Kwiklite KLED

Calculation Summary					
Label	CalcType	Units	Avg	Max	Min
Flat Walkway_Top	Illuminance	Lux	3.52	5.7	0.8
Grandstand Lower Area_Top_1	Illuminance	Lux	4.08	5.9	1.7
Grandstand Upper Area_Top_1	Illuminance	Lux	3.48	7.4	0.6
Ground Floor_Floor	Illuminance	Lux	1.90	7.0	0.0
LS Bottom Flight_Top_1	Illuminance	Lux	2.60	4.0	1.0
LS Mid Landing_Top_1	Illuminance	Lux	11.10	11.1	11.1
LS Top Flight_Top_1	Illuminance	Lux	27.30	39.7	14.9
Right Side Stairs_Top_1	Illuminance	Lux	1.32	2.2	0.6



EM1 - Eaton Versalite Under Verandah c w Em gear



EM2 - Fern Howard LED Bulkhead IK10 c w Em gear



EX 1 - Eaton Kwiklite Emergency Exit lighting c w IP65 Enclosure

Please Note - ALL EM1 EM2 fixtures are also General Lighting Luminaires

Client WSP / TDC Grandstand	Page 1 of 1	TD1920 - TDC Grandstand Lighting Layouts.AGI		Turama Design Wellington New Zealand email: turamadesign@outlook.com		#	Date	Drawing Number
		0	10-11-2019			M Lighting layout		
Drawn By: Wayne Hobcraft Checked By:						Revisions		

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Turama - (verb) (-tia) to light with a torch, give light to, illuminate.

